

BUILD STUFF

BUILD STUFF LLC
206-771-5014
diego@buildstuffstudios.com

REVISION TABLE	
Revision #	Date

HERNANDEZ RESIDENCE
7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

Project Status:

PERMIT DRAWINGS SET

Project Owner:

RODOLFO HERNANDEZ &
SHANNON MCINTYRE

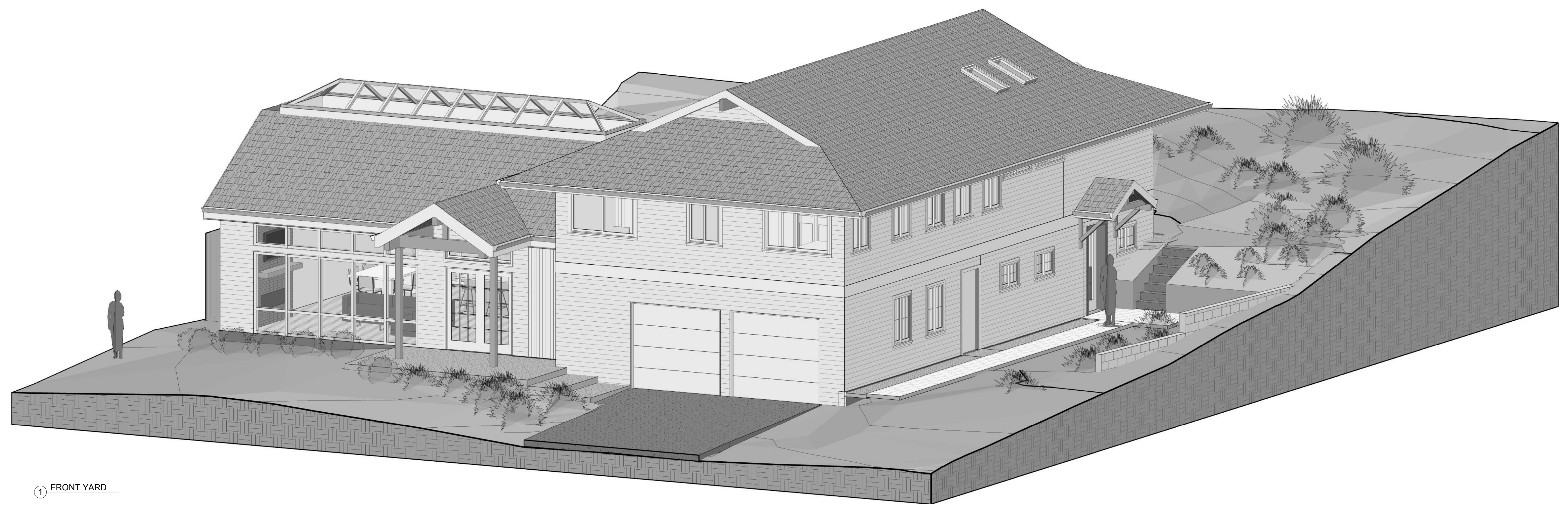
Record #: 2402-026

Date: 05/22/24

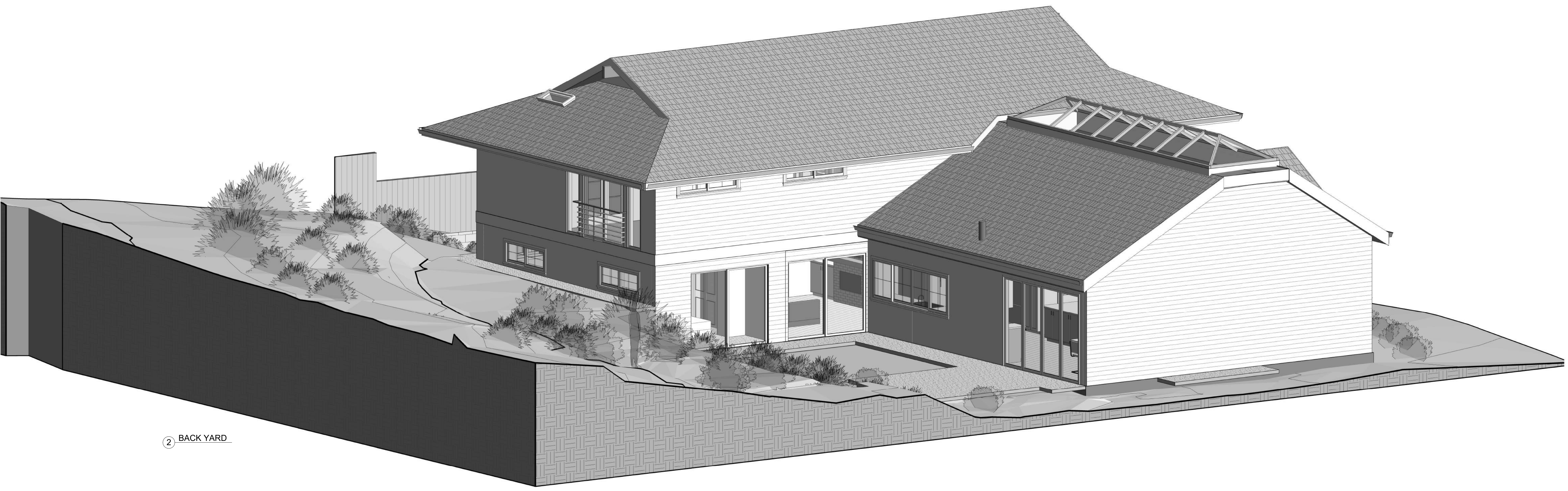
PROPOSED 3D AXON

A001

Scale:



① FRONT YARD



② BACK YARD

TOPOGRAPHIC & BOUNDARY SURVEY

LEGAL DESCRIPTION

LOT 10, BLOCK 1, MERCER TERRACE, ACCORDING TO THE PLAT RECORDED IN VOLUME 72 OF PLATS, PAGE 86, IN KING COUNTY, WASHINGTON.

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

BASIS OF BEARINGS

ACCEPTED THE BEARING OF N 32°22'39" W, BETWEEN MONUMENTS FOUND ALONG THE CENTERLINE OF MERCER TERRACE DR, PER REFERENCE NO. 1.

REFERENCES

R1. MERCER TERRACE, VOL. 72 OF PLATS, PG. 86, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD 88 PER CITY OF MERCER ISLAND BENCHMARK NO. 2332 DESCRIPTION: 3/4" COPPER PLUG IN CONC IN CASE LOCATION: MERCER TERRACE DR, OPP HSE #7449 ELEVATION: 250.006'

SURVEYOR'S NOTES

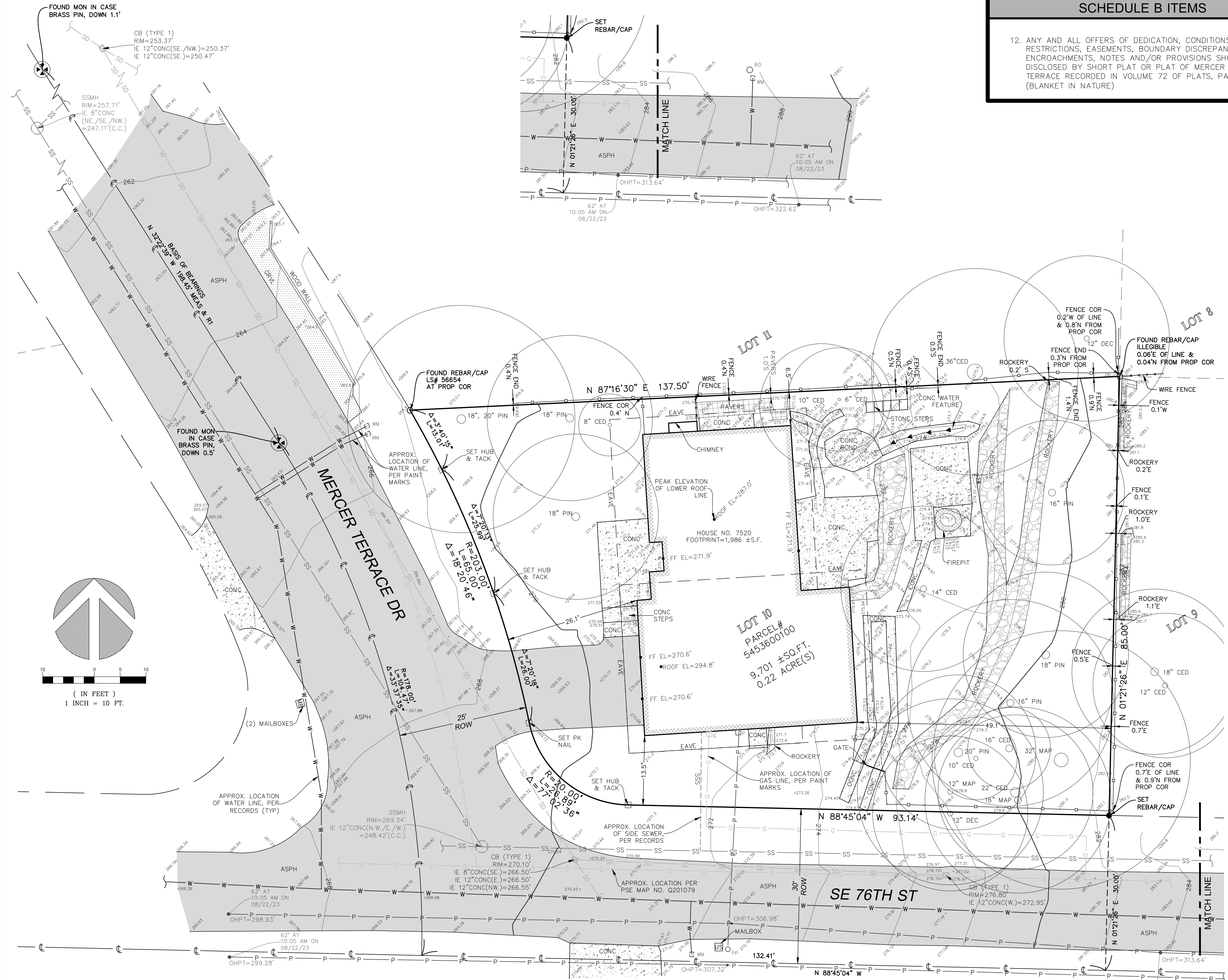
1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN AUGUST OF 2023. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 545360-0100
5. SUBJECT PROPERTY AREA PER THIS SURVEY IS 9,701 ±S.F. (0.22 ACRES)
6. ALL TITLE INFORMATION SHOWN ON THIS MAP HAS BEEN EXTRACTED FROM FIRST AMERICAN TITLE INSURANCE COMPANY'S "COMMITMENT", ORDER NO. 4209-4091530, DATED JULY 31, 2023. IN PREPARING THIS MAP, TERRANE, INC. HAS CONDUCTED NO INDEPENDENT TITLE SEARCH NOR IS TERRANE, INC. AWARE OF ANY TITLE ISSUES AFFECTING THE SURVEYED PROPERTY OTHER THAN THOSE SHOWN ON THE MAP AND DISCLOSED BY THE REFERENCED "COMMITMENT". TERRANE, INC. HAS RELIED WHOLLY ON FIRST AMERICAN TITLE INSURANCE COMPANY'S REPRESENTATIONS OF THE TITLE'S CONDITION TO PREPARE THIS SURVEY AND TERRANE, INC. QUALIFIES THE MAP'S ACCURACY AND COMPLETENESS TO THAT EXTENT.
7. EXISTING STRUCTURE(S) LOCATION AND DIMENSIONS ARE MEASURED FROM THE FACE OF THE SIDING UNLESS OTHERWISE NOTED.
8. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 3-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.

LEGEND

	ASPHALT SURFACE		OHP TRANSMISSION ELEVATION
	BLOW OFF		PAVER SURFACE
	BUILDING		POWER METER
	CENTERLINE ROW		POWER (OVERHEAD)
	CONCRETE SURFACE		POWER POLE
	DITCH (FLOWLINE)		REBAR & CAP (SET)
	FENCE LINE (CHAIN LINK)		REBAR AS NOTED (FOUND)
	FENCE LINE (WOOD)		RETAINING WALL
	GAS LINE		ROCKERY
	GAS METER		SEWER LINE
	GRAVEL SURFACE		SEWER MANHOLE
	INLET (TYPE 1)		STORM DRAIN LINE
	LINESTAKES (AS NOTED)		TREE (AS NOTED)
	MAILBOX (RESIDENTIAL)		WATER LINE
	MAILBOX (US POSTAL)		WATER METER
	MONUMENT (IN CASE, FOUND)		

VICINITY MAP

N.T.S.



STEEP SLOPE/BUFFER DISCLAIMER:
 THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

SCHEDULE B ITEMS

12. ANY AND ALL OFFERS OF DEDICATION, CONDITIONS, RESTRICTIONS, EASEMENTS, BOUNDARY DISCREPANCIES OR ENCROACHMENTS, NOTES AND/OR PROVISIONS SHOWN OR DISCLOSED BY SHORT PLAT OR PLAT OF MERCER TERRACE RECORDED IN VOLUME 72 OF PLATS, PAGE(S) 86. (BLANKET IN NATURE)

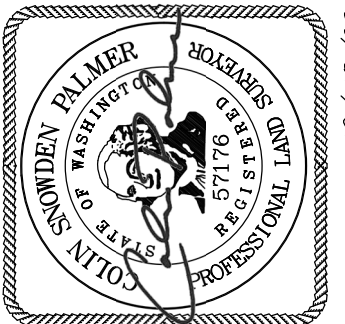
INDEXING INFORMATION	
	NW 1/4 SE 1/4
	SECTION: 25
	TOWNSHIP: 24N
	RANGE: 04E, W.M.
	COUNTY: KING

TOPOGRAPHIC & BOUNDARY SURVEY

PARCEL NO. 5453600100

HERNANDEZ RESIDENCE

7520 MERCER TERRACE DR
 MERCER ISLAND, WA 98040



TERRANE

10801 Main Street, Suite 102
 Bellevue, WA 98004
 p: 425-458-4488 | e: info@terrane.net

JOB NUMBER:	231287
DATE:	09/01/23
DRAFTED BY:	IDV / RPM
CHECKED BY:	CSP / TLR
SCALE:	1" = 10'

REVISION HISTORY

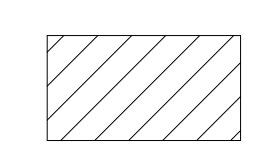
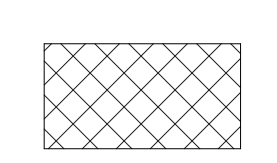
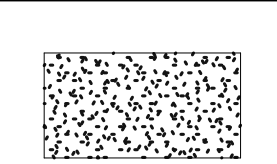
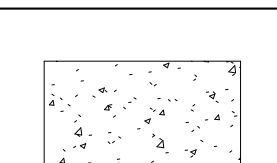
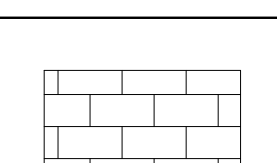
NO.	DATE	DESCRIPTION

SHEET NUMBER

1 OF 1

We are the measure | terrane.net

SITE PLAN LEGEND

	EXISTING FOOTPRINT
	ADDITION FOOTPRINT
	GRAVEL / DRAIN ROCK
	CONCRETE HARDSCAPE
	PAVERS

STRUCTURAL ALTERATION CALCULATION:
 PER MICC 19.01.050 (D)(1)(b)(iii)
 REFERENCE DEMO PLANS ON SHEET A101 & A103 FOR DIMENSIONS OF STRUCTURALLY ALTERED WALLS

PERCENTAGE OF EXTERIOR WALLS ALTERED =
 (SUM OF THE LENGTH OF EXISTING EXTERIOR WALLS TO BE STRUCTURALLY ALTERED) ÷ (SUM OF THE LENGTH OF EXISTING EXTERIOR WALLS)

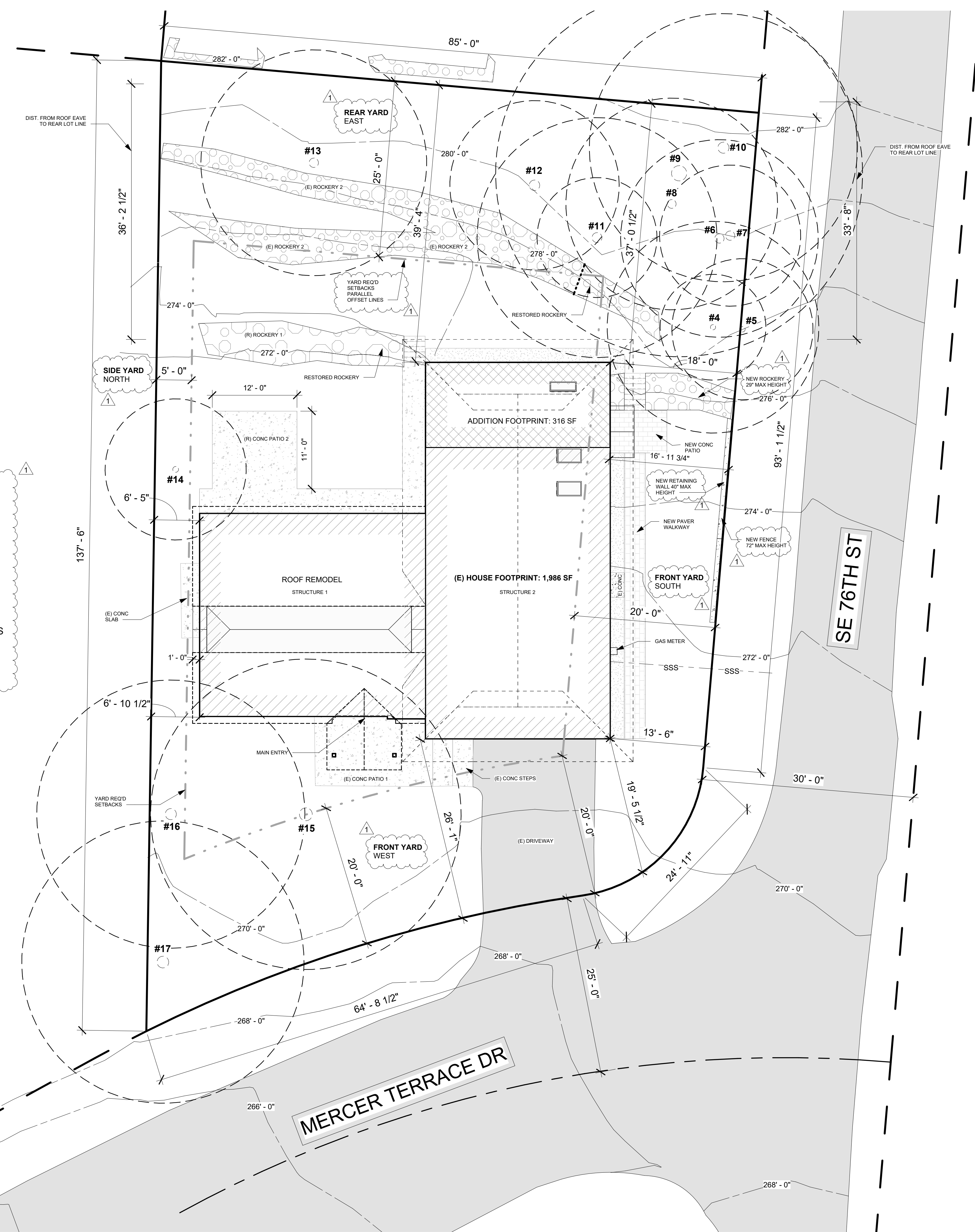
(45.4 FEET) ÷ (204.21 FEET) = **22%**

(A) THE "SUM OF THE LENGTH OF EXISTING EXTERIOR WALLS TO BE STRUCTURALLY ALTERED" IS THE SUM OF EACH WALL SEGMENT THAT IS COMPLETELY DEMOLISHED.
 (B) THE "SUM OF THE LENGTH OF EXTERIOR WALLS" IS THE SUM OF THE LENGTHS OF EACH EXTERIOR WALL SEGMENT OF A STRUCTURE OR BUILDING.

YARD REQUIREMENTS:
 PER MICC 19.02.020(C)(3)(b)
 ALL HARDSCAPE IN REQUIRED YARDS SHALL NOT EXCEED 30" IN HEIGHT FROM EXISTING OR FINISHED GRADE, WHICHEVER IS LOWER.

PER MICC 19.02.020(C)(2)(a)(ii)
II. FRONT YARD — CORNER LOTS. ON CORNER LOTS THE FRONT YARD SHALL BE MEASURED FROM THE NARROWEST DIMENSION OF THE LOT ABUTTING A STREET.
 THE YARD ADJACENT TO THE WIDEST DIMENSION OF THE LOT ABUTTING A STREET SHALL BE A SIDE YARD;
 PROVIDED:
 (A) IF A SETBACK EQUIVALENT TO OR GREATER THAN REQUIRED FOR A FRONT YARD IS PROVIDED ALONG THE PROPERTY LINES ABUTTING BOTH STREETS, THEN ONLY ONE OF THE REMAINING SETBACKS MUST BE A REAR YARD.

PROPOSED LOT CONFIGURATION:
 WEST=FRONT, SOUTH=FRONT, EAST=REAR, NORTH=SIDE



PROJECT DATA:

- PROJECT ADDRESS:** 7520 MERCER TERRACE DR, MERCER ISLAND WA, 98040
- PARCEL #:** 545360-0100
- LEGAL DESCRIPTION:** MERCER TERRACE ADD PLAT BLOCK: 1 PLAT LOT: 10
- NET LOT AREA:** 9,701 SF
- ZONE:** R-9.6 SINGLE FAMILY RESIDENTIAL
- PRESENT USE:** SINGLE FAMILY RESIDENTIAL
- YEAR BUILT:** 1965
- BUILDING AREA:** 1,986 SF
- SITE SLOPE:** 12.05 %
- GENERAL DEVELOPMENT STANDARDS:**
 FRONT SETBACK: 20'-0"
 SIDE SETBACK: 15'-0" SUM, MINIMUM 5'-0" EACH SIDE
 REAR SETBACK: 25'-0"
 HEIGHT LIMIT: 30'-0" TO HIGHEST POINT OF ROOF EXISTING BUILDING HEIGHT = 25'
- ALLOWABLE LOT COVERAGE**
 (FOR LOTS <15 % SLOPE - MAX 40% OF LOT AREA)
 LOT AREA: 9,701 SF
 ALLOWED LOT COVERAGE: 3,880 SF
- REFER TO SITE CALCULATION SHEETS A101.1 - A101.4 FOR LOT COVERAGE, HARDSCAPE, GROSS FLOOR AREA, AND AVERAGE BUILDING ELEVATION CALCULATIONS.

PROJECT DESCRIPTION:

SCOPE:
 ROOF REMODEL & ADDITION W/ ADU

PROJECT NARRATIVE:
 THE SCOPE OF WORK INCLUDES A ROOF REMODEL OF EXISTING "STRUCTURE 1" AND AN ADDITION OF 316 SF TO "STRUCTURE 2" WITH PROPOSED INTERIOR MODIFICATIONS TO LEVEL 1 AND LEVEL 2 OF THE HOUSE. REFER TO PLANS FOR LABELS OF "STRUCTURE 1" AND "STRUCTURE 2". THESE LABELS SPLIT UP THE HOUSE INTO 2 SECTIONS DIFFERENTIATING BETWEEN THE SINGLE-STORY AND THE DOUBLE-STORY STRUCTURE.

REMODEL OF THE LOWER ROOF LINE AND 2-STORY ADDITION WITH ADU. THE ROOF REMODEL ENTAILS A COMPLETE DEMO OF THE EXISTING LOWER ROOF LINE AND RECONSTRUCTION MAINTAINING THE EXISTING FOOTPRINT WITH A NEW DESIGN. THE ADDITION IS 632 SF OF CONDITIONED GROSS FLOOR AREA AND 316 SF TOTAL LOT COVERAGE. 316 SF ADU ON LEVEL 1 AND 316 SF ADDITION TO THE EXISTING PRIMARY BEDROOM ON LEVEL 2. THE PROPOSED ADDITION IS IN A GEO-HAZARD AREA ON THE SITE.
 THE PROPOSAL INCLUDES MINOR MODIFICATIONS TO HARDSCAPE AREAS AND INTERIOR SPACES. MODIFICATIONS/NEW INTERIOR PARTITION WALLS, PLUMBING FIXTURES, APPLIANCES, AND WINDOWS.



VICINITY MAP

NOT TO SCALE

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1	5/22/2024

HERNANDEZ RESIDENCE
 7520 MERCER TERRACE DR
 MERCER ISLAND WA, 98040

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 RODOLFO HERNANDEZ &
 SHANNON MCINTYRE

Record #:
 2402-026

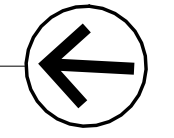
Date:
 05/22/24

SITE PLAN

A100

Scale: As indicated

1 Site
 1/8" = 1'-0"



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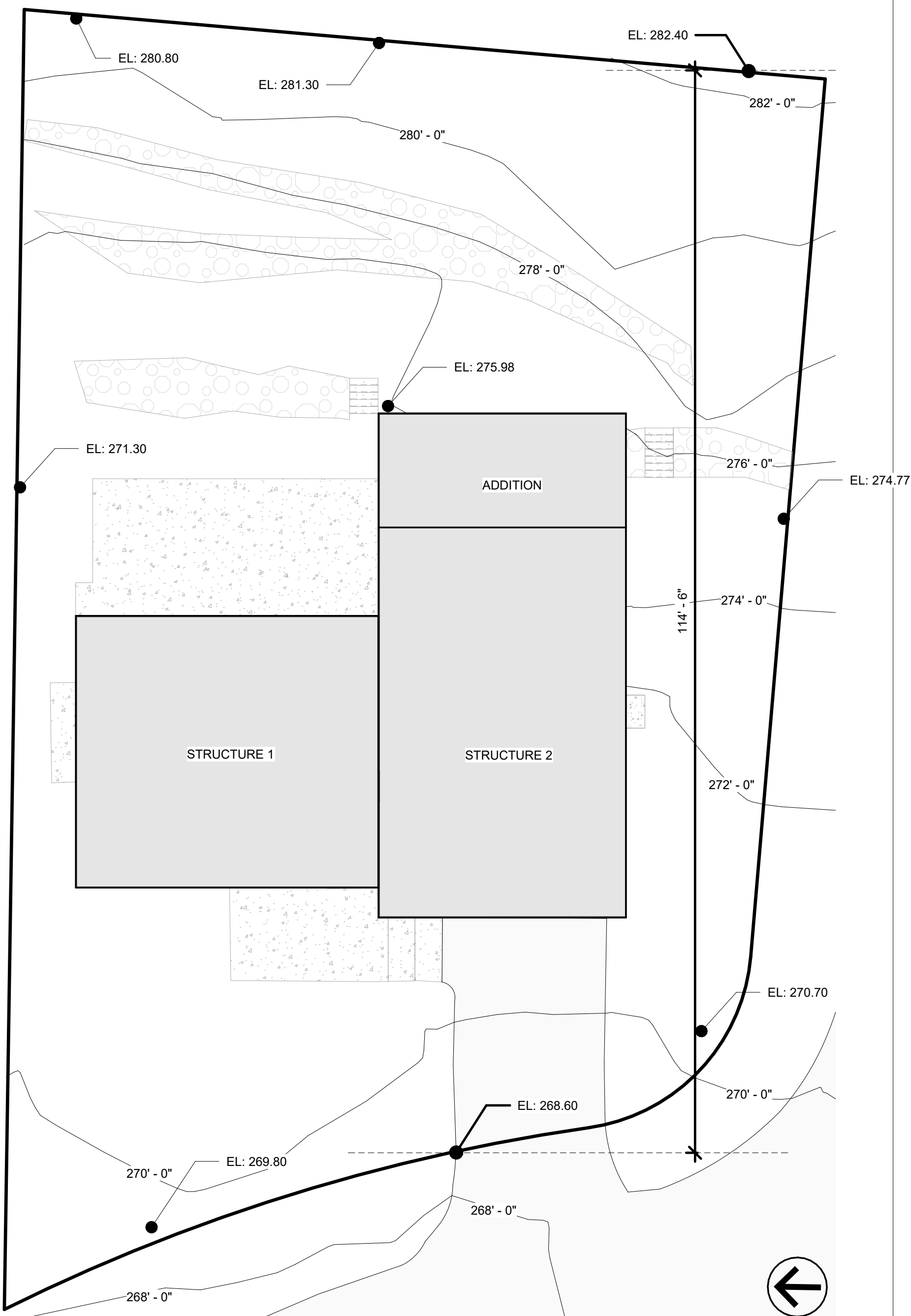
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**SLOPE / ABE / GFA
CALCULATIONS**

A100.1

Scale: As indicated



3 SITE SLOPE CALCULATION
1" = 10'-0"

SITE SLOPE CALCULATION

ELEVATION POINTS REFERENCED FROM SITE SURVEY ATTACHED TO THIS PLAN SET

HIGHEST ELEVATION POINT OF LOT: **282.40 FT**

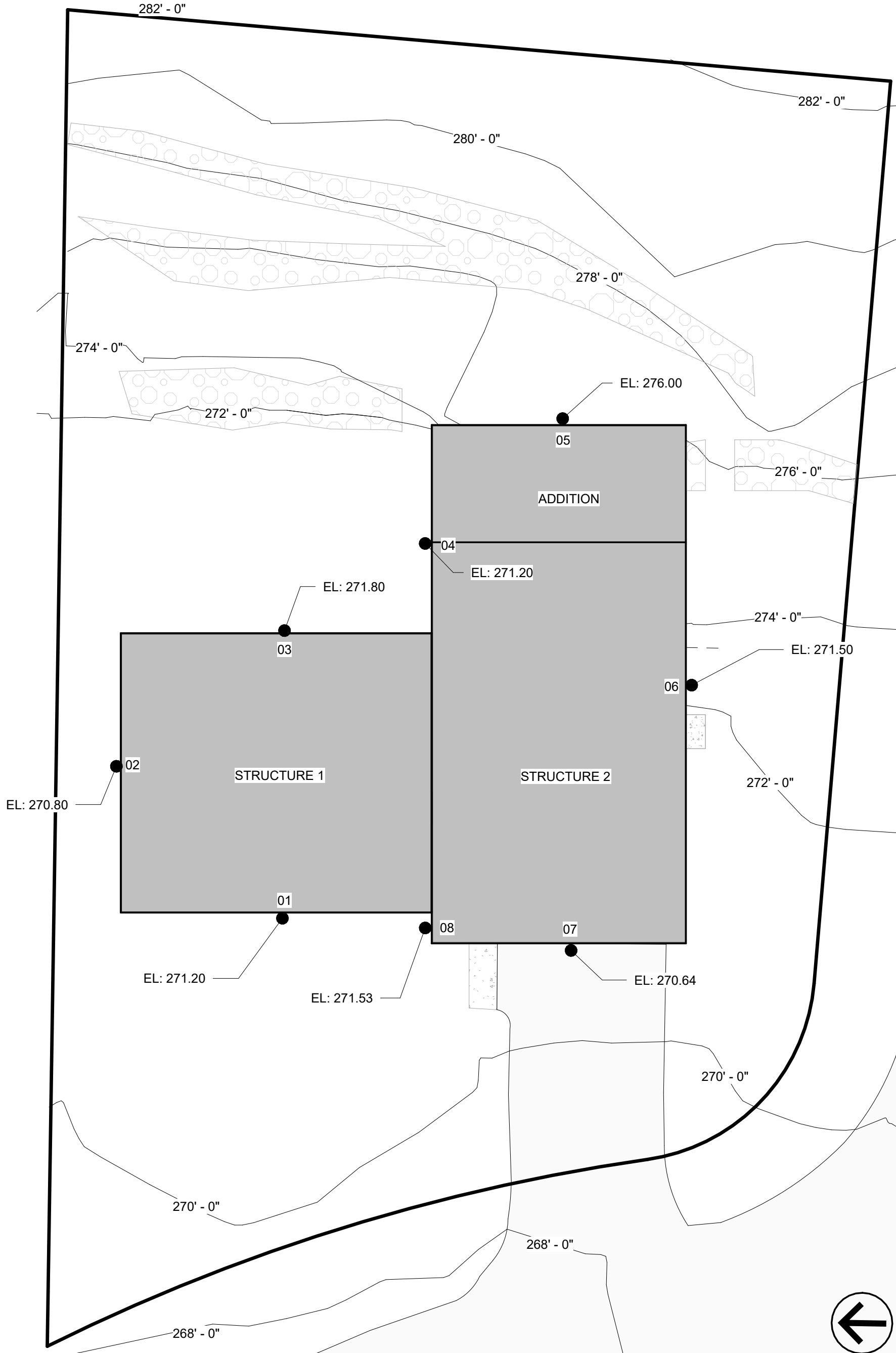
LOWEST ELEVATION POINT OF LOT: **268.60 FT**

ELEVATION DIFFERENCE: **13.80 FT**

HORIZONTAL DISTANCE BETWEEN HIGH AND LOW POINTS: **114.50 FT**

LOT SLOPE = ELEVATION DIFFERENCE / HORIZONTAL DISTANCE X 100

LOT SLOPE = **12.05 %**
(13.80 / 114.50) * 100



2 ABE CALCULATIONS
1" = 10'-0"

ABE CALCULATIONS

WALL	MIDPOINT ELEVATION	WALL LENGTH	ME x WL
01	271.20	32.00	8678.40
02	270.80	28.75	7785.50
03	271.80	32.00	8697.60
04	271.20	21.42	5809.10
05	276.00	26.17	7222.92
06	271.50	53.33	14479.10
07	270.64	26.17	7082.65
08	271.53	3.17	860.75
TOTAL	2174.67	223.01	60616.02

TOTAL MIDPOINT ELEVATION * WALL LENGTH: 60616.02
TOTAL LENGTH OF WALLS: 223.01

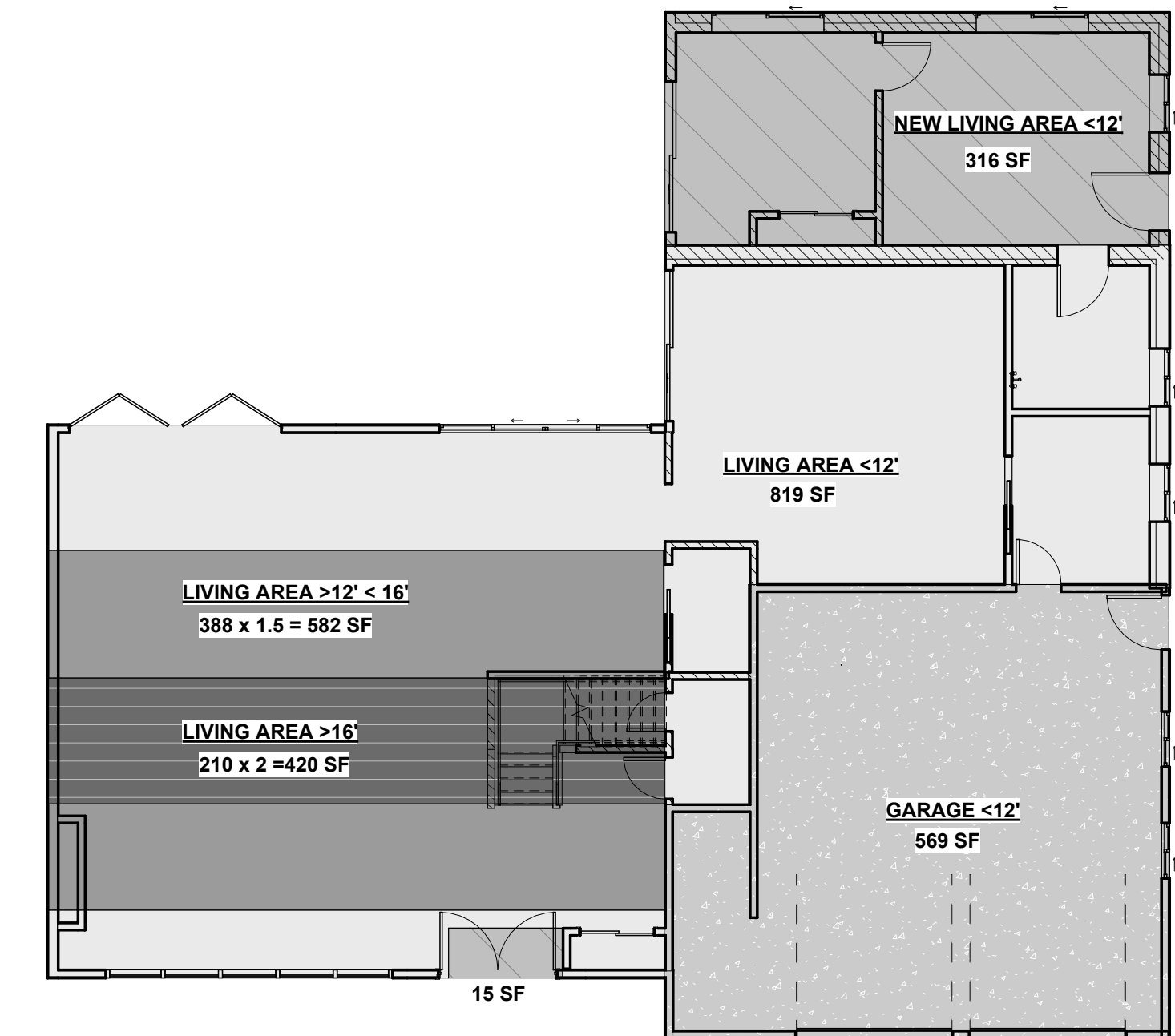
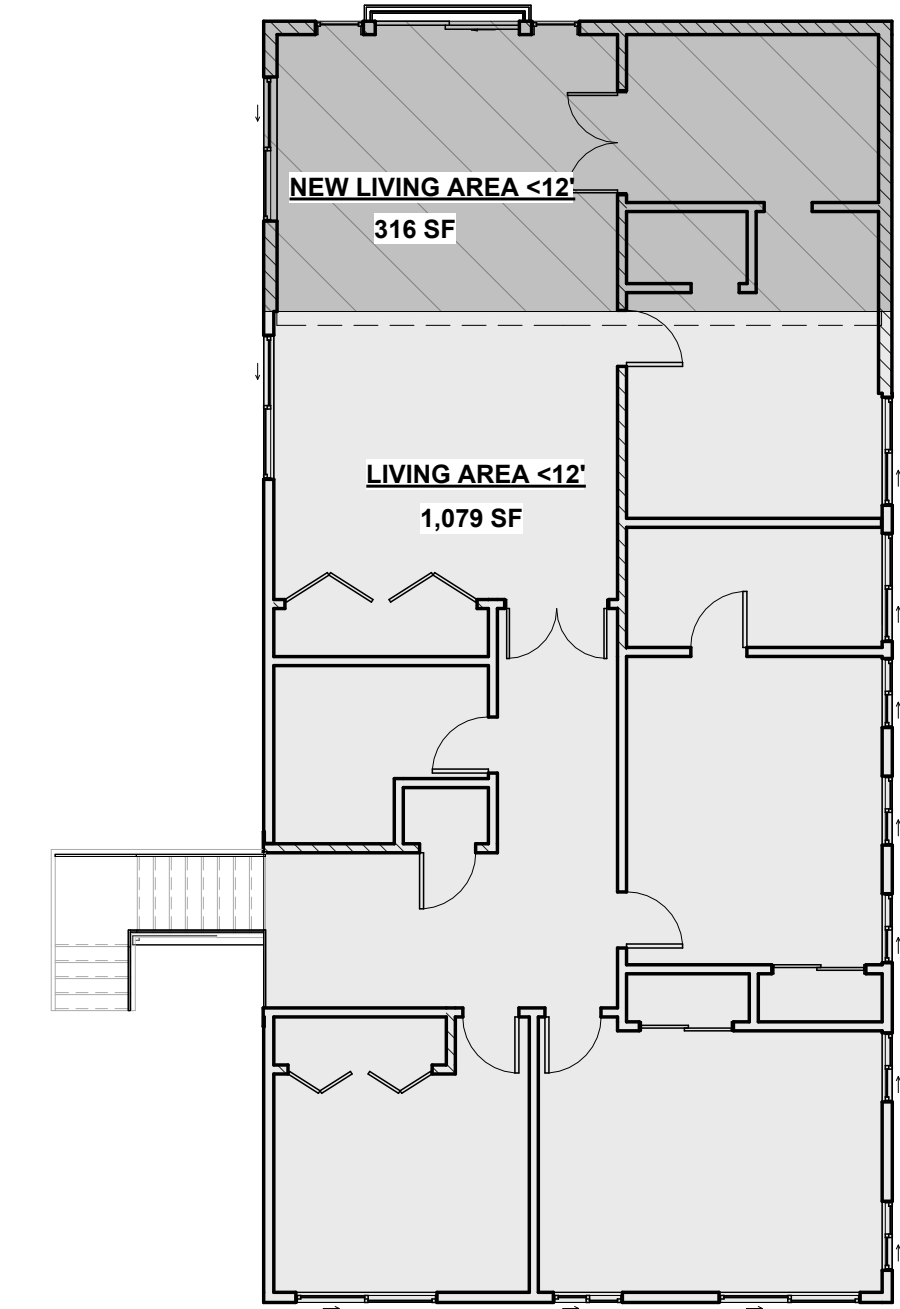
AVERAGE BUILDING ELEVATION (ABE) **271.81**

FT-IN 271' - 9 3/4"

GROSS FLOOR AREA

	EXISTING LIVING AREA < 12'
	EXISTING LIVING AREA > 12' < 16'
	EXISTING LIVING AREA > 16'
	EXISTING GARAGE < 12'
	NEW LIVING AREA < 12'

4 LEVEL 2 - GFA
1/8" = 1'-0"



1 LEVEL 1 - GFA
1/8" = 1'-0"

ALLOWABLE GFA:

NET LOT AREA: 9,701 SF

GROSS FLOOR AREA: (40% OF NET LOT AREA):
ALLOWABLE GROSS FLOOR AREA: **3,880 SF**
PER MICC 19.02.020.D.1

ALLOWABLE INCREASE OF GROSS FLOOR AREA W/ADU:
PER MICC 19.02.020.D.3.b
LESSER OF FIVE PERCENTAGE POINTS OR THE ACTUAL FLOOR AREA OF THE PROPOSED ACCESSORY DWELLING UNIT
ALLOWABLE GROSS FLOOR AREA (45%): **4,365 SF**
ALLOWABLE GROSS FLOOR AREA (40% + ADU SF): **4,196 SF**

PROVIDED:
II. THE LOT WILL CONTAIN AN ACCESSORY DWELLING UNIT ASSOCIATED WITH THE APPLICATION FOR A NEW OR REMODELED SINGLE-FAMILY HOME; AND
III. THE TOTAL GROSS FLOOR AREA SHALL NOT EXCEED 4,500 SQUARE FEET OR 45 PERCENT OF THE LOT AREA, WHICHEVER IS LESS.

GFA CALCULATION HEIGHT MODIFIERS:

< 12' = 100% GFA MODIFIER
> 12' < 16 = 150% GFA MODIFIER
> 16' = 200% GFA MODIFIER

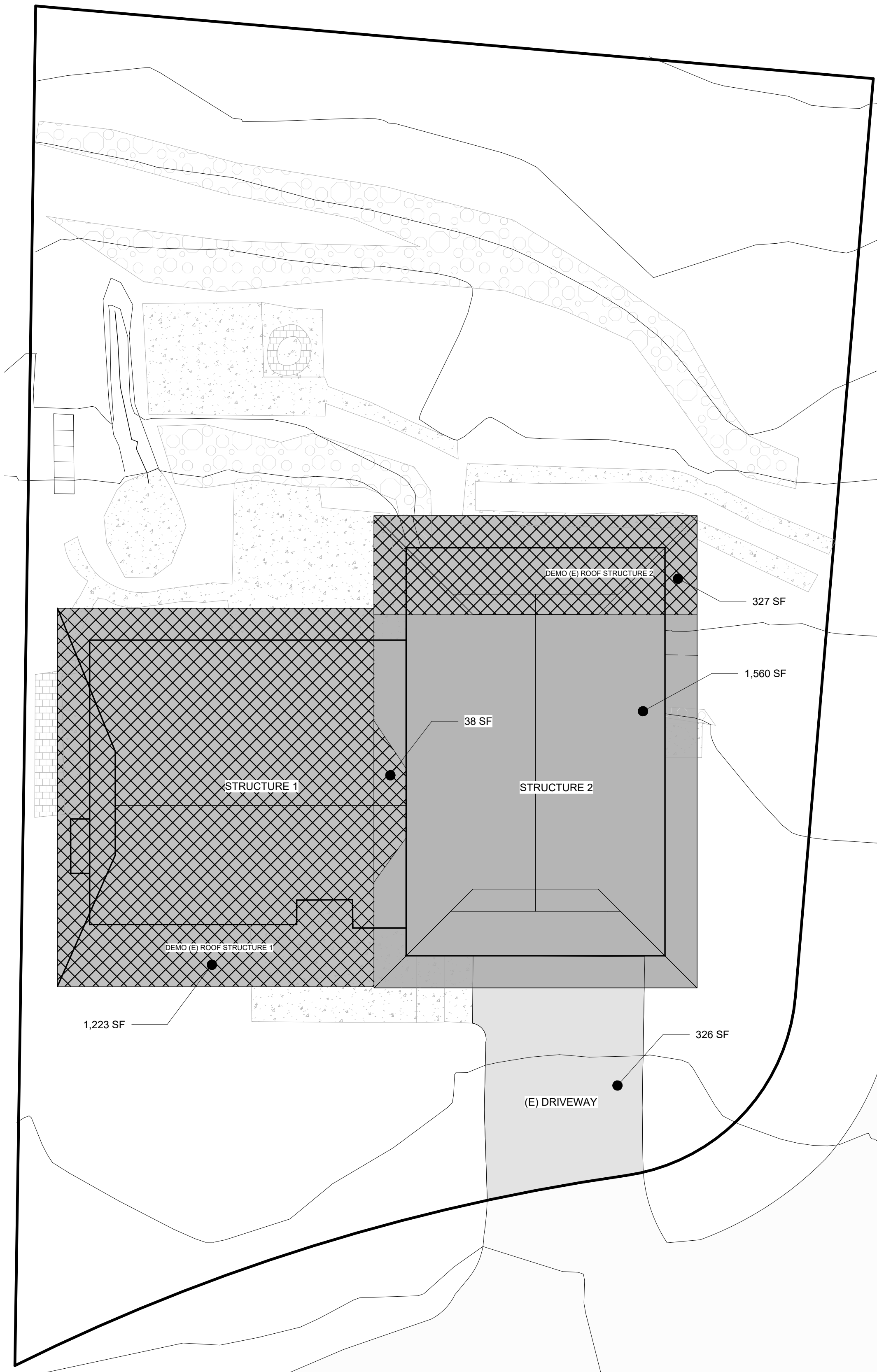
GFA CALCULATIONS:

LEVEL 1:	2,720 SF
EXISTING LIVING AREA < 12'	819 SF
EXISTING GARAGE < 12'	569 SF
EXISTING LIVING AREA > 12' < 16'	582 SF
EXISTING LIVING AREA > 16'	420 SF
NEW LIVING AREA (ADU) < 12'	316 SF
NEW LIVING AREA < 12'	15 SF

LEVEL 2:	1,395 SF
EXISTING LIVING AREA < 12'	1,079 SF
NEW LIVING AREA < 12'	316 SF

GRAND TOTAL **4,116 SF**

LOT COVERAGE CALCULATIONS



ALLOWABLE LOT COVERAGE
(FOR LOTS <15% SLOPE - MAX 40% OF LOT AREA)
GROSS LOT AREA: 9,701 SF
NET LOT AREA (B): 9,701 SF
ALLOWABLE LOT COVERAGE AREA: 3,880 SF

TOTAL EXISTING LOT COVERAGE AREA: (E5)
(E) ROOF STRUCTURE 1: 1,223 SF
(E) ROOF STRUCTURE 2: 1,560 SF

(E) TOTAL ROOF AREA: 2,783 SF
(E) DRIVEWAY: 326 SF
TOTAL: **3,109 SF**

TOTAL LOT COVERAGE AREA REMOVED: (F)
(E) ROOF STRUCTURE 1: 1,223 SF
(E) ROOF STRUCTURE 2: 327 SF
(E) ROOF STRUCTURE 2: 38 SF

TOTAL: **1,588 SF**


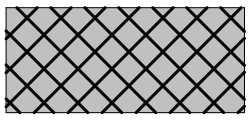
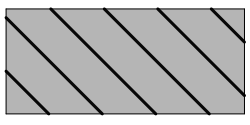


TOTAL NEW/REPLACED LOT COVERAGE: (I5)
(R) ROOF STRUCTURE 1: 1,024 SF
(R) ROOF STRUCTURE 2: 327 SF
(N) ROOF STRUCTURE 2: 395 SF

MAIN STRUCTURE ROOF AREA:
TOTAL: **1,746 SF**

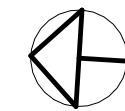
TOTAL PROJECT LOT COVERAGE AREA: (E5 - F) + I5
(3,109 - 1,588) + 1,746
TOTAL: **3,267 SF**

PROPOSED LOT COVERAGE % : (J/B) X100
(3,267 / 9,701) X 100
= **33.68 %**

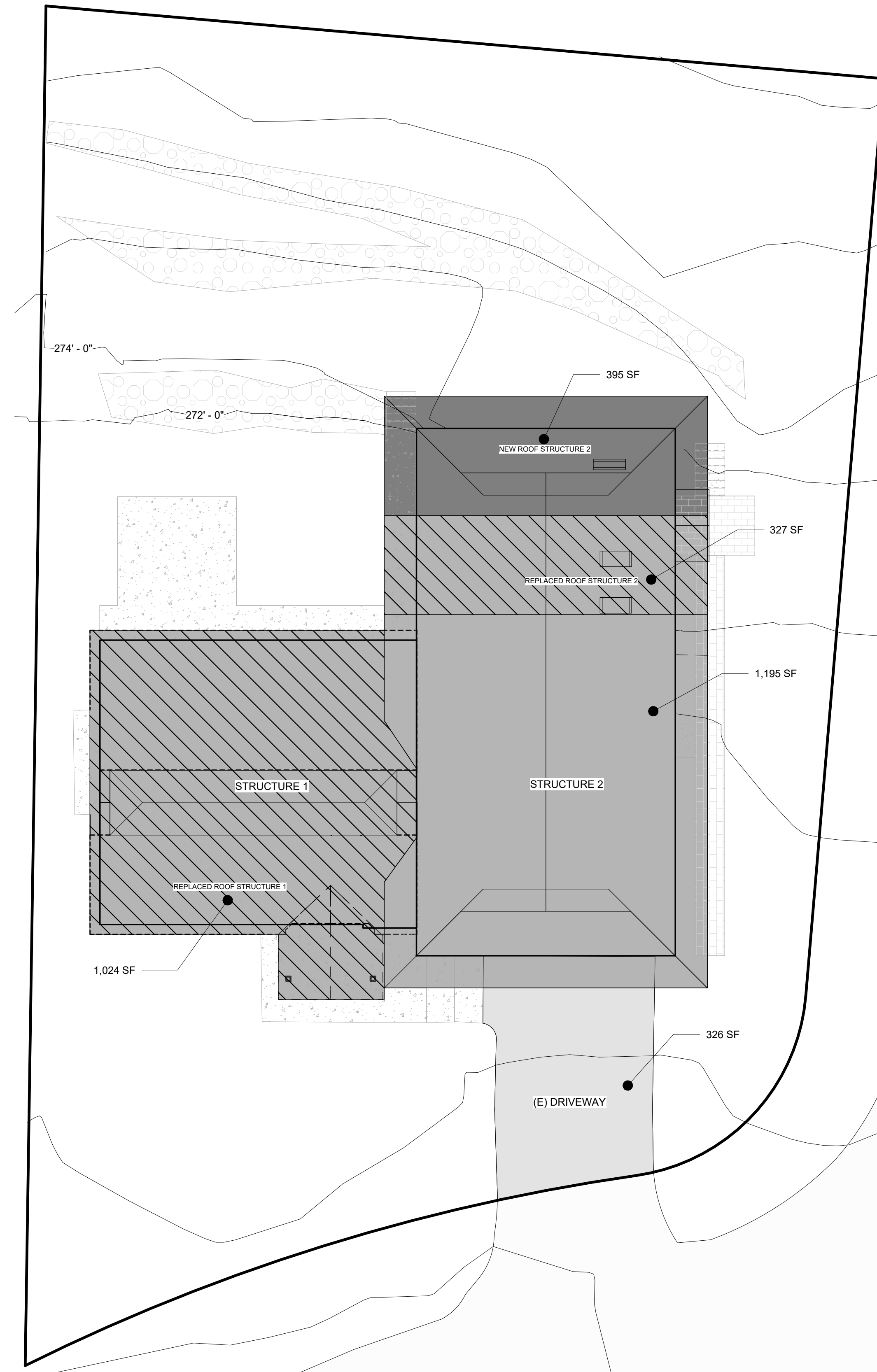
REMAINING ALLOWABLE LOT COVERAGE:
ALLOWED LOT COVERAGE (-) PROPOSED LOT COVERAGE
3,880 - 3,267 = **613 SF**

LOT COVERAGE	
	EXISTING ROOF AREA TO REMAIN
	DEMO (E) LOT COVERAGE
	REPLACED EXISTING ROOF AREA
	NEW ROOF AREA
	VEHICULAR USE AREA TO REMAIN

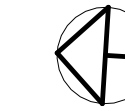
1 EXISTING - LOT COVERAGE
1/8" = 1'-0"



(E) - EXISTING
(R) - REPLACED
(N) - NEW



2 PROPOSED - LOT COVERAGE
1/8" = 1'-0"



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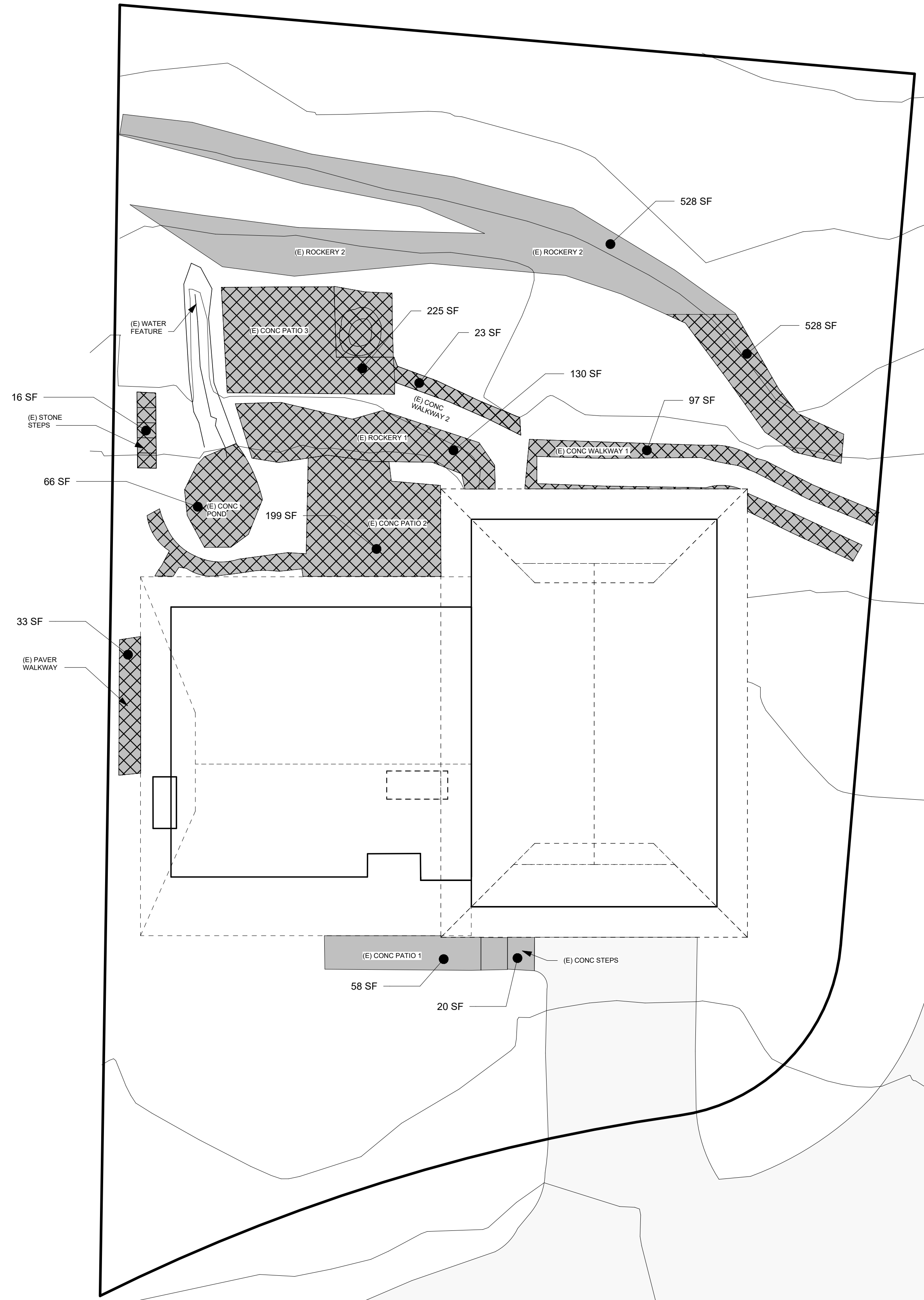
Date: 05/22/24

LOT COVERAGE CALCULATIONS

A100.2

Scale: As indicated

HARDSCAPE CALCULATIONS



1 EXISTING - HARDSCAPE
1/8" = 1'-0"



(E) - EXISTING
(R) - REPLACED
(N) - NEW
(EU) - EXISTING UNCOVERED

HARDSCAPE CALCULATIONS (MAX 9% OF LOT AREA)
NET LOT AREA : **9,701 SF**
ALLOWABLE HARDSCAPE 9%: **873 SF**
AREA BORROWED FROM LOT COVERAGE: **613 SF**
TOTAL ALLOWED LOT COVERAGE SF: **1,486 SF**
TOTAL ALLOWED LOT COVERAGE %: **15.3 %**

EXISTING HARDSCAPE AREA: (E) W/ EXISTING ROOFLINE
(E) CONC PATIO 1: 58 SF
(E) CONC PATIO 2: 199 SF
(E) CONC PATIO 3: 225 SF
(E) CONC WALKWAY 1: 97 SF
(E) CONC WALKWAY 2: 23 SF
(E) PAVER WALKWAY: 33 SF
(E) CONC STEPS: 20 SF
(E) STONE STEPS: 16 SF
(E) ROCKERY 1: 130 SF
(E) ROCKERY 2: 528 SF
(E) CONC POND: 66 SF

TOTAL EXISTING HARDSCAPE AREA: (F7)
UNCOVERED PATIOS: 482 SF
WALKWAYS: 153 SF
STAIRS / STEPS: 36 SF
ROCKERIES & RETAINING WALLS: 658 SF
OTHER - (CONC POND): 66 SF
TOTAL: **1,395 SF**

REMOVED HARDSCAPE:
(E) CONC PATIO 3: 225 SF
(E) CONC PATIO 2: 199 SF
(E) CONC WALKWAY 1: 97 SF
(E) CONC WALKWAY 2: 23 SF
(E) PAVER WALKWAY: 33 SF
(E) STONE STEPS: 16 SF
(E) ROCKERY 1: 130 SF
(E) ROCKERY 2: 86 SF
(E) CONC POND: 66 SF

TOTAL HARDSCAPE AREA REMOVED: (G)
UNCOVERED PATIOS: 424 SF
WALKWAYS: 153 SF
STAIRS / STEPS: 16 SF
ROCKERIES & RETAINING WALLS: 216 SF
OTHER - (CONC POND): 66 SF
TOTAL: **875 SF**

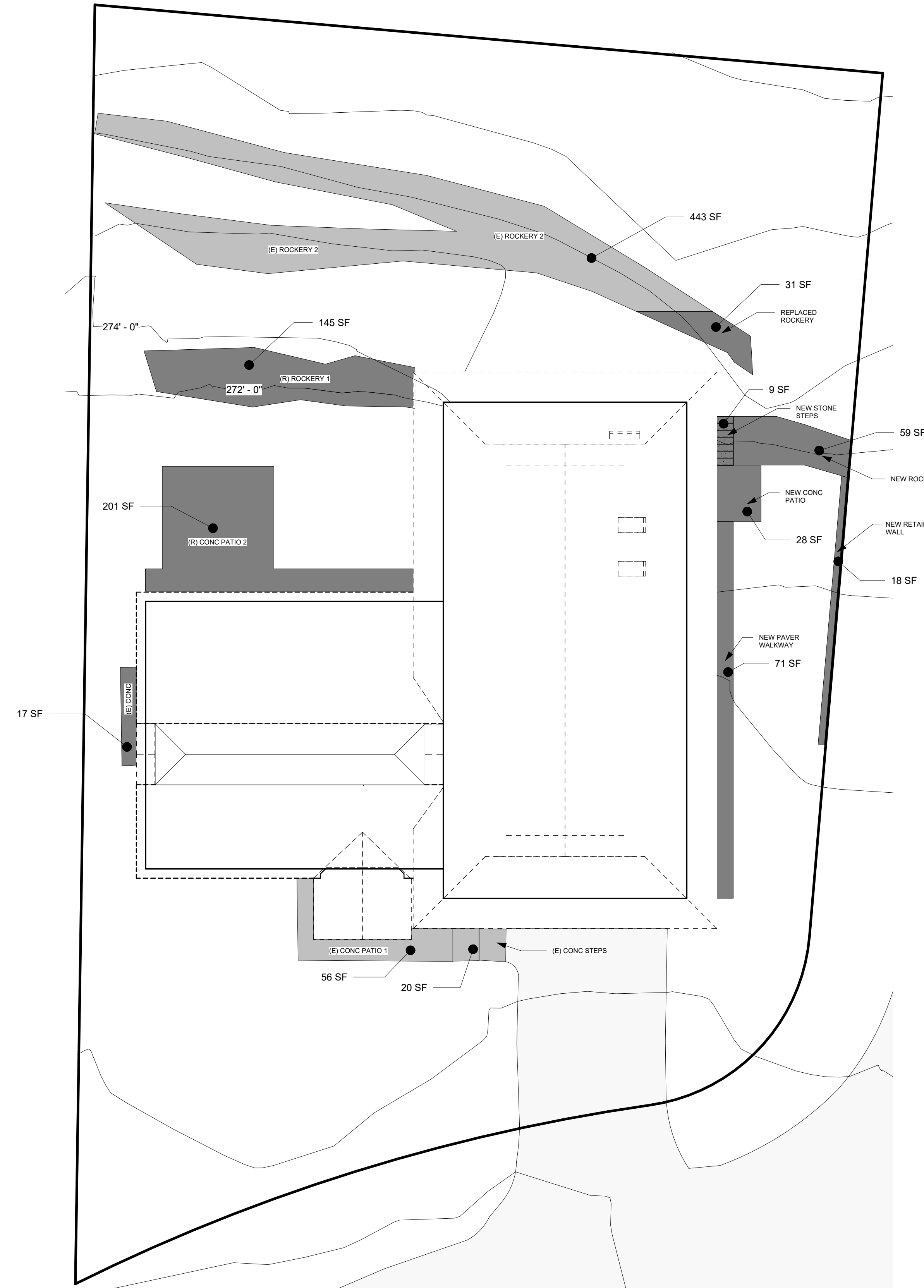
NEW/REPLACED HARDSCAPE: (H) W/ UPDATED ROOFLINE
(R) CONC PATIO 2: 201 SF
(N) CONC PATIO: 28 SF
(N) PAVER WALKWAY: 71 SF
(N) STONE STEPS: 9 SF
(R) ROCKERY 1: 145 SF
(R) ROCKERY 2: 31 SF
(N) ROCKERY: 59 SF
(N) RETAINING WALL: 18 SF
(EU) (UNCOVERED CONC SLAB): 17 SF

TOTAL NEW/REPLACED HARDSCAPE: (H7)
UNCOVERED PATIOS: 229 SF
WALKWAYS: 71 SF
STAIRS / STEPS: 9 SF
ROCKERIES & RETAINING WALLS: 253 SF
OTHER - (UNCOVERED CONC SLAB): 17 SF
TOTAL: **579 SF**

TOTAL PROJECT HARDSCAPE AREA: (F7 - G) + H7
(1,395 - 875) + 579
TOTAL: **1,099 SF**

PROPOSED HARDSCAPE % : (J/B) X100
(1,099 / 9,701) X 100
= **11.33 %**

HARDSCAPE	
	EXISTING HARDSCAPE TO REMAIN
	DEMO (E) HARDSCAPE
	NEW/REPLACED HARDSCAPE UNCOVERED HARDSCAPE UNDER NEW ROOF OVERHANGS



2 PROPOSED - HARDSCAPE
1/8" = 1'-0"



REVISION TABLE	
Revision #	Revision Description

HERNANDEZ RESIDENCE
7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

Project Status:

PERMIT DRAWINGS SET

Project Owner:

RODOLFO HERNANDEZ & SHANNON MCINTYRE

Record #: 2402-026

Date: 05/22/24

HARDSCAPE CALCULATIONS

A100.3

Scale: As indicated

STORM WATER CALCULATIONS

NET INCREASE IMPERVIOUS SURFACE: (<500 SF)

EXISTING IMPERVIOUS SURFACE AREA: (A)

ROOF & DRIVEWAY: 3,109 SF
(E) ROOF STRUCTURE 1: 1,223 SF
(E) ROOF STRUCTURE 2: 1,560 SF
(E) DRIVEWAY: 326 SF

OTHER SURFACES: 1,395 SF
UNCOVERED PATIOS: 482 SF
WALKWAYS: 153 SF
STAIRS / STEPS: 36 SF
ROCKERIES & RETAINING WALLS: 658 SF
OTHER - (CONC POND): 66 SF

TOTAL: 4,504 SF

REMOVED IMPERVIOUS SURFACE AREA: (B)

ROOF & DRIVEWAY: 1,588 SF
(E) ROOF STRUCTURE 1: 1,223 SF
(E) ROOF STRUCTURE 2: 327 SF
(E) ROOF STRUCTURE 2: 38 SF

OTHER SURFACES: 875 SF
UNCOVERED PATIOS: 424 SF
WALKWAYS: 153 SF
STAIRS / STEPS: 16 SF
ROCKERIES & RETAINING WALLS: 216 SF
OTHER - (CONC POND): 66 SF

TOTAL: 2,463 SF

NEW IMPERVIOUS SURFACE AREA: (C)

ROOF & DRIVEWAY: 1,746 SF
(R) ROOF STRUCTURE 1: 1,024 SF
(R) ROOF STRUCTURE 2: 327 SF
(N) ROOF STRUCTURE 2: 396 SF

OTHER SURFACES: 579 SF
UNCOVERED PATIOS: 229 SF
WALKWAYS: 71 SF
STAIRS / STEPS: 9 SF
ROCKERIES & RETAINING WALLS: 253 SF
OTHER - (UNCOVERED CONC SLAB): 17 SF

TOTAL: 2,325 SF

TOTAL PROPOSED IMPERVIOUS SURFACE AREA:

CALCULATION: (A - B) + C
(4,504 - 2,463) + 2,325

TOTAL: 4,366 SF

NET IMPERVIOUS SURFACE CALCULATION:

= PROPOSED (-) EXISTING:
4,366 - 4,504 = **-138 SF**




NEW + REPLACED HARD SURFACE AREA: (<2,000 SF)

NEW ROOF STRUCTURE 2: 395 SF
REPLACED ROOF STRUCTURE 1: 1,024 SF

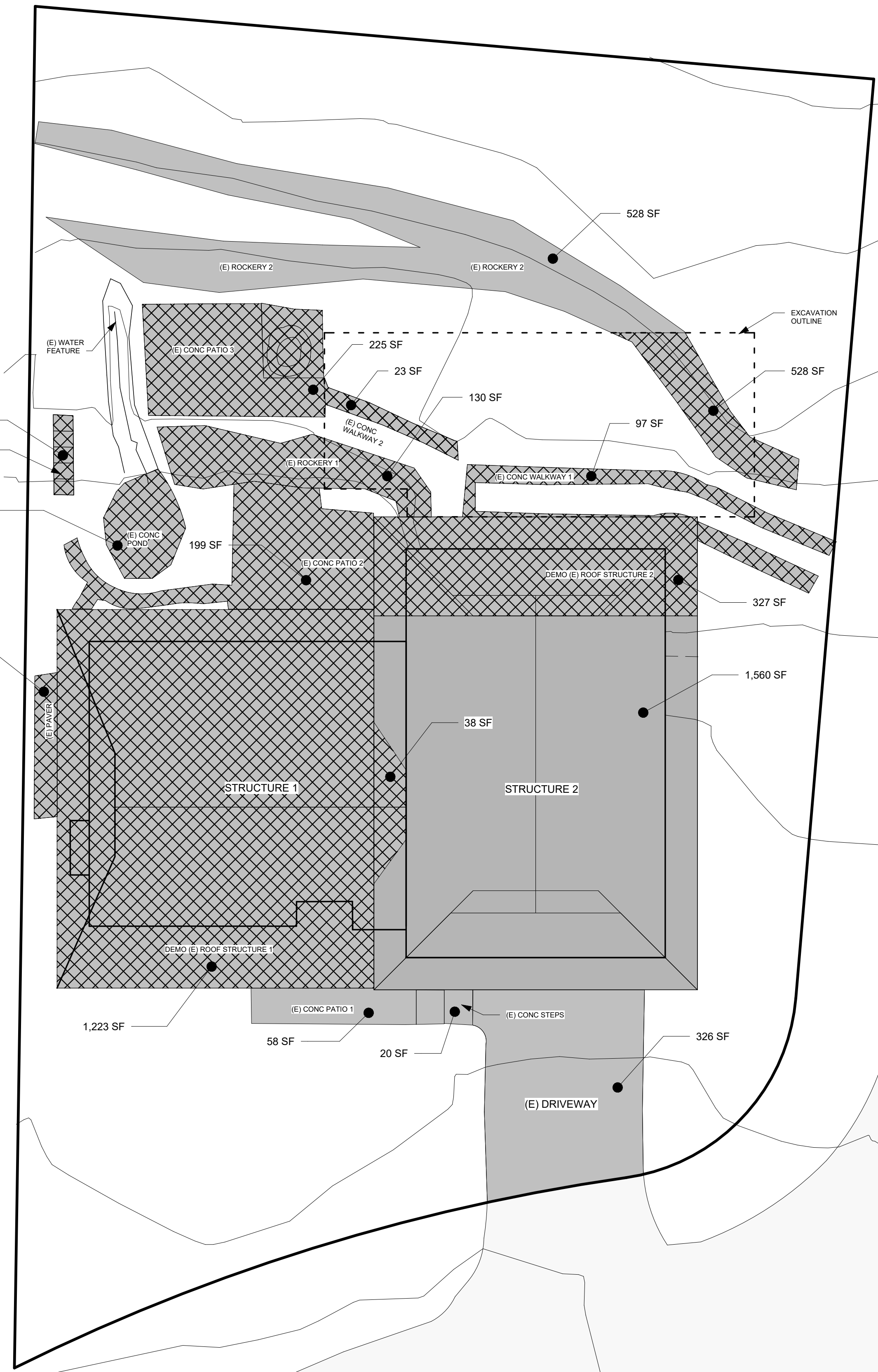
OTHER HARD SURFACES: 579 SF
UNCOVERED PATIOS: 229 SF
WALKWAYS: 71 SF
STAIRS / STEPS: 9 SF
ROCKERIES & RETAINING WALLS: 253 SF
OTHER - (UNCOVERED CONC SLAB): 17 SF

TOTAL: 1,998 SF

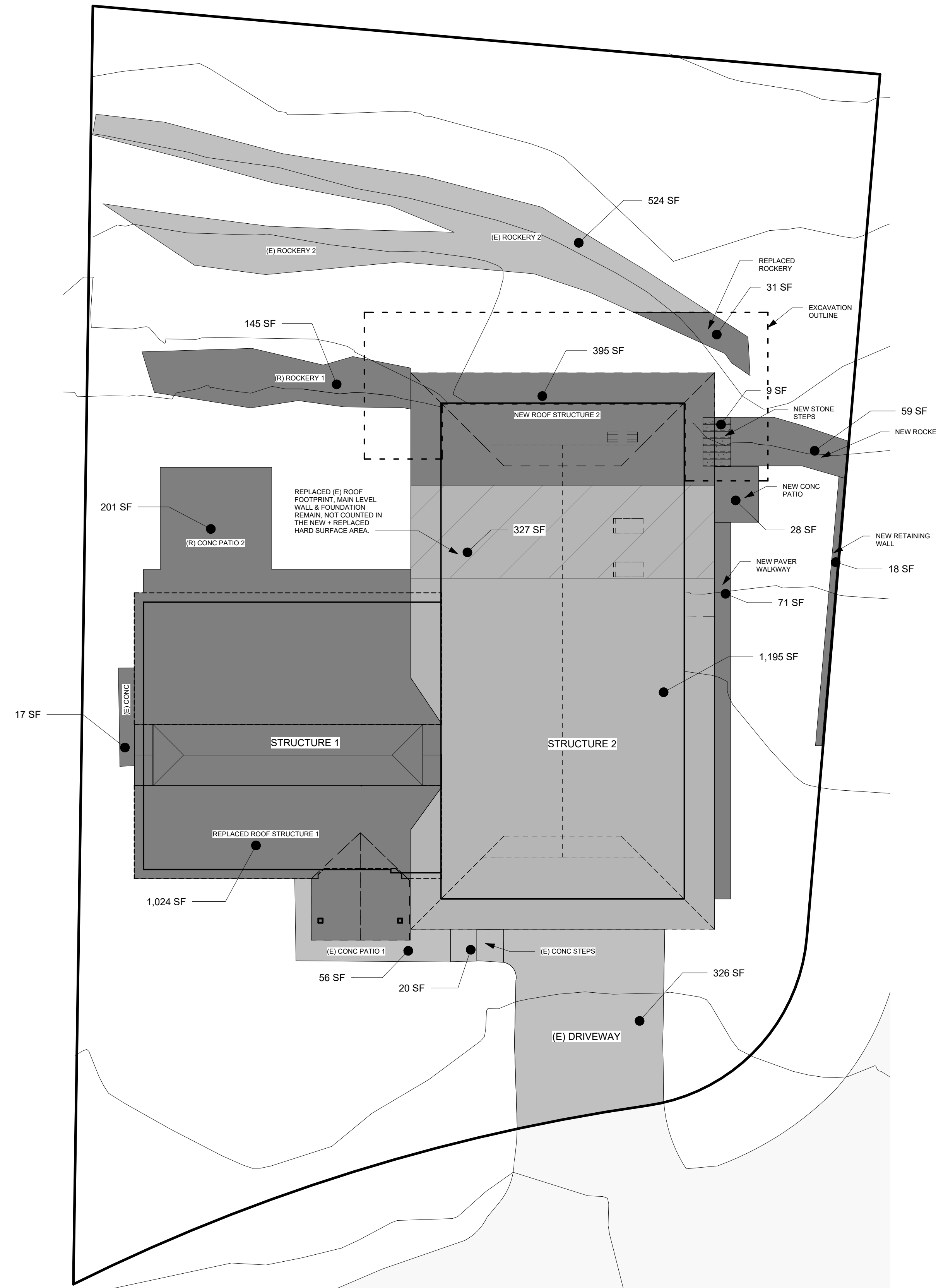
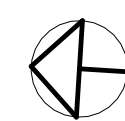
HARD SURFACES

	EXISTING HARD SURFACES TO REMAIN
	DEMO EXISTING HARD SURFACES
	NEW/REPLACED HARD SURFACES

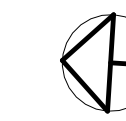
(E) - EXISTING
(R) - REPLACED
(N) - NEW



2 EXISTING - IMPERVIOUS SURFACE
1/8" = 1'-0"



1 PROPOSED - IMPERVIOUS SURFACE
1/8" = 1'-0"



REVISION TABLE	
Revision #	Revision Description

HERNANDEZ RESIDENCE
7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

Project Status:
PERMIT DRAWINGS SET

Project Owner:
RODOLFO HERNANDEZ &
SHANNON MCINTYRE

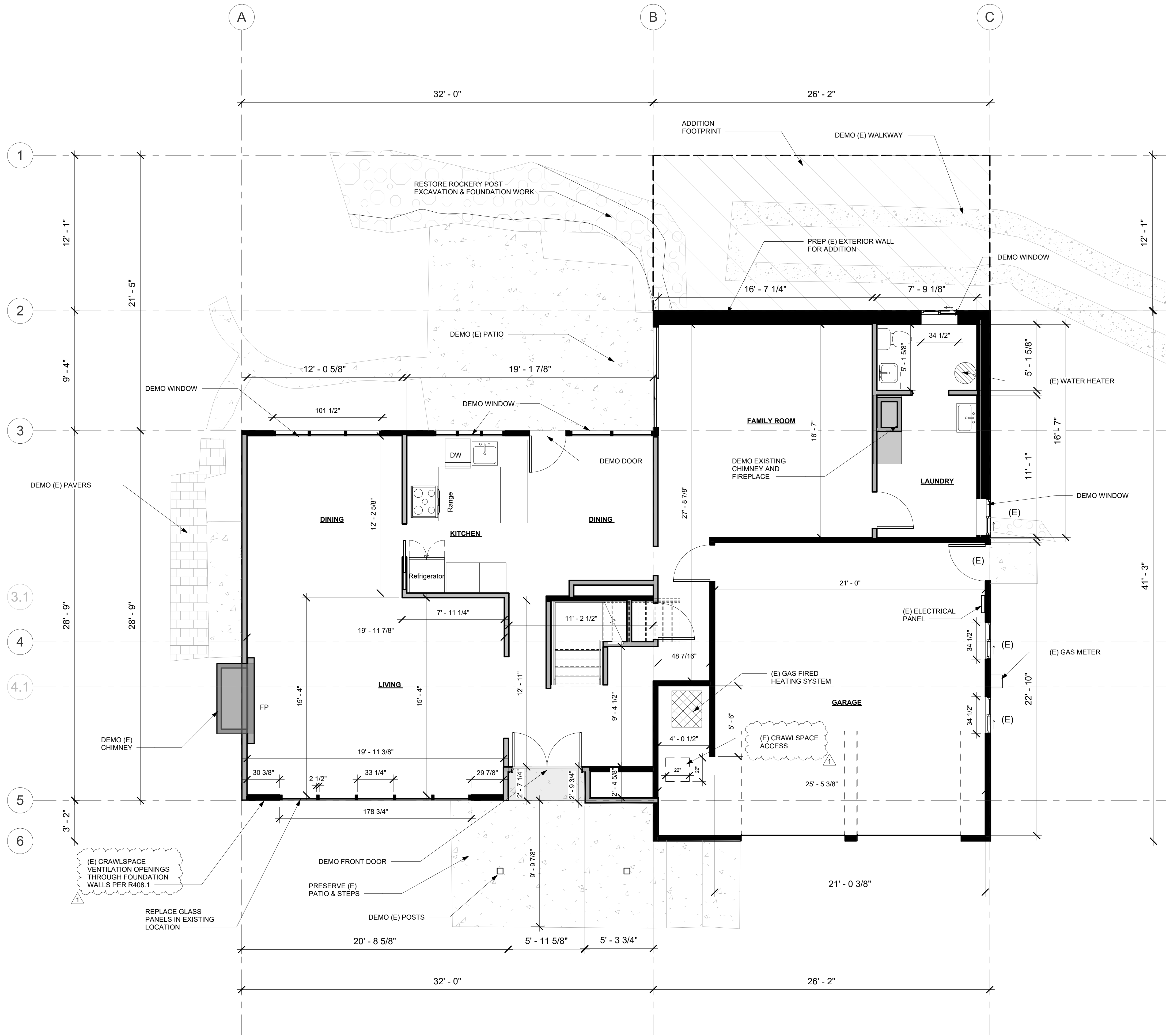
Record #: 2402-026
Date: 05/22/24

STORMWATER CALCULATIONS

A100.4

Scale: As indicated

REVISION TABLE	
Revision #	Revision Description
1	5/22/2024 Revision 1



DEMO PLAN NOTES:

1. CONTRACTOR TO VERIFY MEASUREMENTS OF EXISTING CONDITIONS PRIOR TO CONSTRUCTION. REFER TO ELEVATIONS FOR WINDOW AND EXTERIOR DOOR SCHEDULES.
2. DEMO ALL EXISTING BRICK FIREPLACES.
3. DEMOLITION: ITEMS INDICATED ON PLANS TO BE DEMOLISHED, SHALL BE COMPLETELY REMOVED AND DISPOSED UNLESS NOTED OTHERWISE. CONTRACTOR/OWNER RESPONSIBLE FOR REVIEW OF THE HAZARDOUS MATERIALS ABATEMENT, REFER TO ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS IF APPLICABLE FOR CUTTING AND PATCHING WORK.

EXISTING CONDITION NOTES:

1. (E) EXTERIOR WALLS: 2X4 STUD @16" O.C. 8" CONCRETE FOUNDATION WALLS WITH FOOTINGS.
2. (E) FLOOR STRUCTURE: WOOD FRAMED CRAWLSPACE FLOOR AT MAIN LEVEL, SLAB ON GRADE AT GARAGE, AND WOOD FRAMED FLOOR AT SECOND LEVEL.
3. (E) ROOF STRUCTURE: SITE-CUT ROOF TRUSSES.
4. (E) HEATING: CENTRAL FORCED AIR HEATING - NATURAL GAS - PUBLIC SUPPLY, GAS METER.
5. (E) HOT WATER UNIT: GAS FUELED.
6. (E) ATTIC: VENTED THROUGH SOFFIT AND ROOF VENTS.

STRUCTURAL ALTERATION CALCULATION:

PER MICC 19.01.050 (D)(1)(b)(iii)
REFERENCE DEMO PLANS ON SHEET A101 & A103 FOR DIMENSIONS OF STRUCTURALLY ALTERED WALLS

PERCENTAGE OF EXTERIOR WALLS ALTERED =
(SUM OF THE LENGTH OF EXISTING EXTERIOR WALLS TO BE STRUCTURALLY ALTERED) ÷ (SUM OF THE LENGTH OF EXISTING EXTERIOR WALLS)

(45.4 FEET) ÷ (204.21 FEET) = **22%**

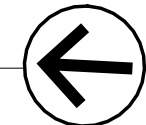
(A) THE "SUM OF THE LENGTH OF EXISTING EXTERIOR WALLS TO BE STRUCTURALLY ALTERED" IS THE SUM OF EACH WALL SEGMENT THAT IS COMPLETELY DEMOLISHED.

(B) THE "SUM OF THE LENGTH OF EXTERIOR WALLS" IS THE SUM OF THE LENGTHS OF EACH EXTERIOR WALL SEGMENT OF A STRUCTURE OR BUILDING.

FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION	NOTES
	EXISTING WALL	2X4 STUD @ 16" O.C. (EXT. U.N.O) 2X4 STUD @ 16" O.C. (INT. U.N.O) 8" CONCRETE WALL (EXT.)
	NEW WALL	2X6 STUD @ 16" O.C. (EXT. U.N.O) 2X4 STUD @ 16" O.C. (INT. U.N.O)
	DEMO WALL	2X4 STUD @ 16" O.C. (EXT. U.N.O) 2X4 STUD @ 16" O.C. (INT. U.N.O)

1 LEVEL 1 - DEMO
1/4" = 1'-0"



HERNANDEZ RESIDENCE
7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

Project Status:

PERMIT DRAWINGS SET

Project Owner:

RODOLFO HERNANDEZ &
SHANNON MCINTYRE

Record #: 2402-026

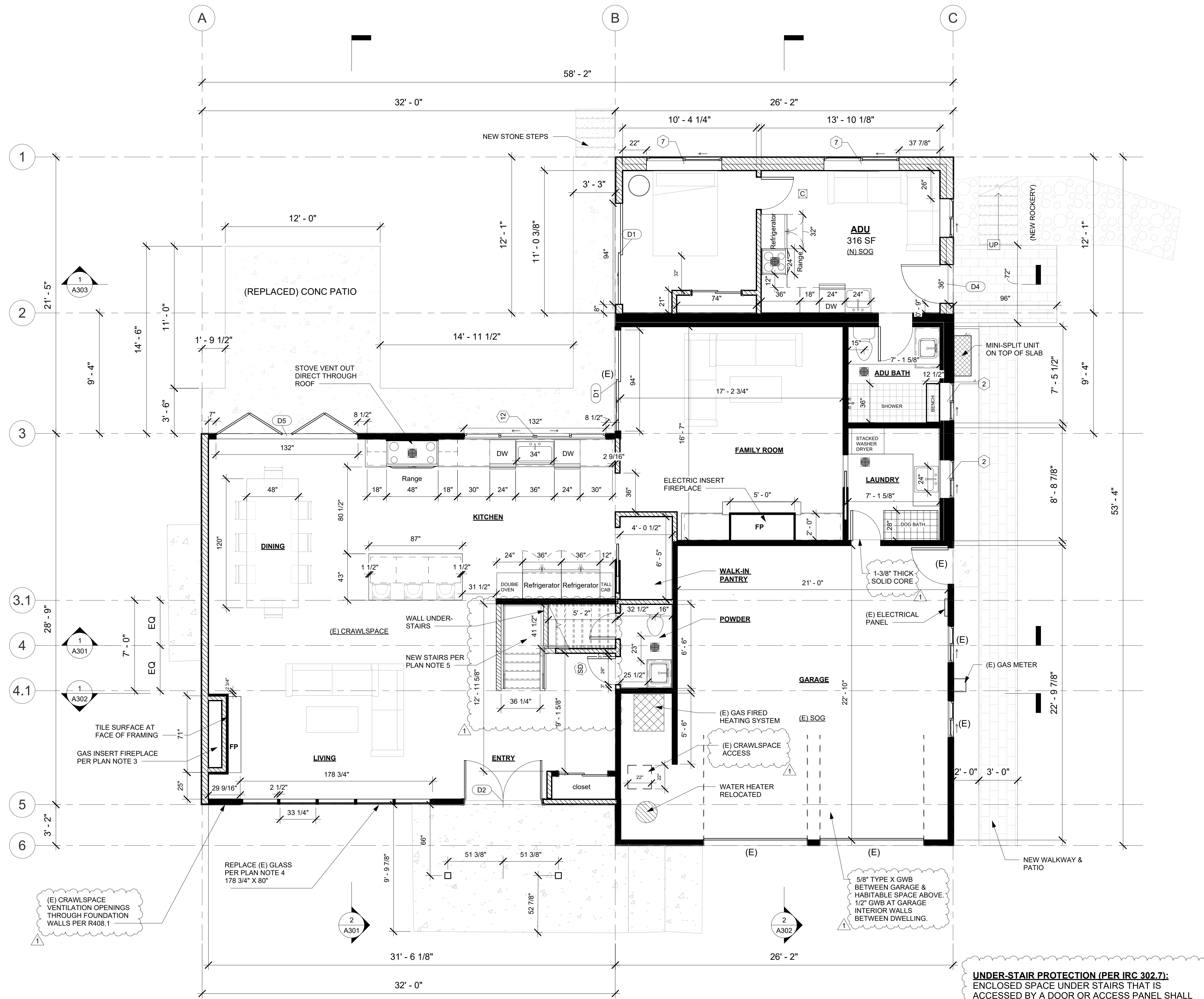
Date: 05/22/24

DEMO LEVEL 1

A101

Scale: 1/4" = 1'-0"

REVISION TABLE	
Revision #	Revision Description
1	5/22/2024 Revision 1



PLAN NOTES:

- CONTRACTOR TO VERIFY MEASUREMENTS OF EXISTING CONDITIONS PRIOR TO CONSTRUCTION. DIMENSIONS SUBJECT TO CONVENTIONAL TOLERANCES.
- REFER TO ELEVATIONS FOR WINDOW AND EXTERIOR DOOR SCHEDULES INCLUDING UNIT SIZE.
- GAS INSERT FIREPLACE, VERIFY REQUIRED FRAMING WIDTH, HEIGHT, AND DEPTH PER MANUFACTURER SPECIFICATIONS. REPLACE (E) GLASS PANELS IN (E) FRAME - CONTRACTOR TO VERIFY GLASS PANEL DIMENSION FOR REPLACEMENT.
- STAIR DIMENSIONS PER IRC R311.7, MAIN INTERIOR STAIR SHALL BE REBUILT AND NEW GUARDS WILL BE INSTALLED TO COMPLY WITH IRC R312.
- AIR EXHAUST OPENINGS SHALL TERMINATE NOT LESS THAN 3 FEET FROM OPERABLE AND NONOPERABLE OPENINGS INTO THE BUILDING AND 10 FEET FROM MECHANICAL AIR INTAKES EXCEPT WHERE THE OPENING IS LOCATED 3 FEET ABOVE THE AIR INTAKE.
- PROVIDE FIREBLOCKING FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING.
- SAFETY GLAZING REQUIRED AT WET SURFACES (PER IRC R308.4.5) GLAZING IN WALLS, ENCLOSURES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND SIMILAR. WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE CONSIDERED A HAZARDOUS LOCATION. APPLIES TO SINGLE GLAZING AND EACH PANE IN MULTIPLE GLAZING.

ENERGY & FUEL NORMALIZATION CREDITS:
2018 WASHINGTON STATE ENERGY CODE - RESIDENTIAL

CREDITS REQUIRED
SMALL DWELLING UNIT: 3.0 CREDITS REQUIRED

PROPOSED:
HEATING OPTIONS:
DHP WITH ZONAL ELECTRIC RESISTANCE (4) PER OPT. (3.4) : 0.5 CREDITS
ENERGY OPTIONS:
EFFICIENT BUILDING ENVELOPE OPTION (1.3) : 0.5 CREDITS
HIGH EFFICIENCY HVAC OPTION (3.4) : 1.5 CREDITS
APPLIANCE PACKAGE (7.1) : 0.5 CREDITS

CREDIT OPTION (1.3): EFFICIENT BUILDING ENVELOPE
PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.1 WITH THE FOLLOWING MODIFICATIONS:

VERTICAL FENESTRATION = U-FACTOR: (.28)
FLOORS - R-38
SLAB ON GRADE R-10 PERIMETER AND UNDER ENTIRE SLAB
BELOW GRADE SLAB R-10 PERIMETER AND UNDER ENTIRE SLAB
OR COMPLIANCE BASED ON SECTION R402.1.4: REDUCE THE TOAL CONDUCTIVE UA BY 5%

CREDIT OPTION (3.4): DUCTLESS MINI SPLIT SYSTEM SPECS

DUCTLESS MINI HEAT SPLIT SYSTEM
HEATING SEASONAL PERFORMANCE FACTOR: 11.5 HSPF
MODEL: BLUERIDGE BMM5519-9C-9C-12C-18C
HEATING CAPACITY: 55,000 BTU (4.5 TON)
ENERGY EFFICIENCY RATIO: 10.5 EER
SEER: 19.0 SEER
ZONES: 5

CREDIT OPTION (7.1): APPLIANCE PACKAGE
ALL OF THE FOLLOWING APPLIANCES SHALL BE NEW AND INSTALLED IN THE DWELLING UNIT AND SHALL MEET THE FOLLOWING STANDARDS:
DISHWASHER - ENERGY STAR RATED
REFRIGERATOR (IF PROVIDED) - ENERGY STAR RATED
WASHING MACHINE - ENERGY STAR RATED
DRYER - ENERGY STAR RATED, VENTLESS DRYER WITH MINIMUM CEF RATING OF 5.2

FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION	NOTES
	EXISTING WALL	2X4 STUD @ 16" O.C. (EXT. U.N.O) 2X4 STUD @ 16" O.C. (INT. U.N.O) 8" CONCRETE WALL (EXT.)
	NEW WALL	2X6 STUD @ 16" O.C. (EXT. U.N.O) 2X4 STUD @ 16" O.C. (INT. U.N.O)
	DEMO WALL	2X4 STUD @ 16" O.C. (EXT. U.N.O) 2X4 STUD @ 16" O.C. (INT. U.N.O)

SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	FAN MIN 50 CFM, BATH, TOILET ROOM & LAUNDRY FAN MIN 100 CFM, KITCHEN
	COMBINED CARBON MONOXIDE DETECTOR & SMOKE DETECTORS
	SMOKE DETECTOR INTERCONNECTED AND HARDWIRED W/ BATTERY BACKUP
	CARBON MONOXIDE DETECTOR, INTERCONNECTED AND HARDWIRED W/BATTERY BACKUP
	WHOLE HOUSE VENTILATION 35 CFM CONTINUOUSLY

UNDER-STAIR PROTECTION (PER IRC 302.7):
ENCLOSED SPACE UNDER STAIRS THAT IS ACCESSED BY A DOOR OR ACCESS PANEL SHALL HAVE WALLS, UNDER-STAIR SURFACE AND ANY SOFFITS PROTECTED ON THE ENCLOSED SIDE WITH 1/2-INCH GWB.

WHOLE HOUSE VENTILATION:
CALCULATION PER TABLE M1505.4.3(1)

PROPOSED ADDITION CONDITIONED SF: 632 SF
NUMBER OF BEDROOMS: 2
VENTILATION AIRFLOW RATE (CFM): 35 CFM

WHOLE HOUSE VENTILATION: 35 CFM CONTINUOUSLY

HERNANDEZ RESIDENCE
7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

Project Status:

PERMIT DRAWINGS SET

Project Owner:

RODOLFO HERNANDEZ &
SHANNON MCINTYRE

Record #: 2402-026

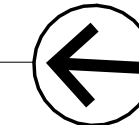
Date: 05/22/24

PROPOSED LEVEL 1

A102

Scale: 1/4" = 1'-0"

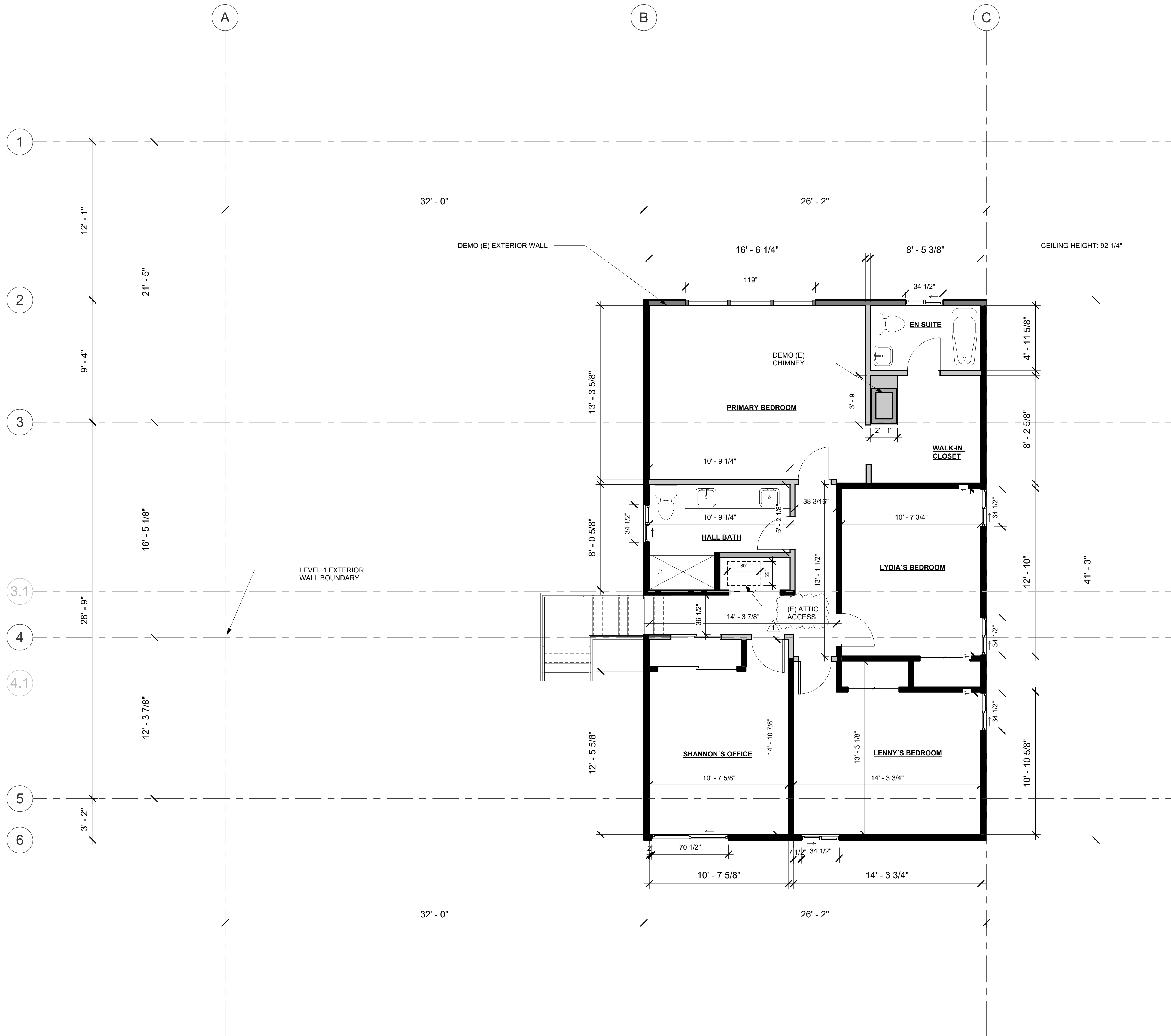
1 LEVEL 1
1/4" = 1'-0"



BUILD STUFF

BUILD STUFF LLC
206-771-5014
diego@buildstuffstudios.com

REVISION TABLE		Revision	Description
Revision #	Date	5/22/2024	Revision 1
1			



DEMO PLAN NOTES:

1. CONTRACTOR TO VERIFY MEASUREMENTS OF EXISTING CONDITIONS PRIOR TO CONSTRUCTION.
2. REFER TO ELEVATIONS FOR WINDOW AND EXTERIOR DOOR SCHEDULES.
3. DEMO ALL EXISTING BRICK FIREPLACES.
4. DEMOLITION: ITEMS INDICATED ON PLANS TO BE DEMOLISHED, SHALL BE COMPLETELY REMOVED AND DISPOSED UNLESS NOTED OTHERWISE. CONTRACTOR/OWNER RESPONSIBLE FOR REVIEW OF THE HAZARDOUS MATERIALS ABATEMENT, REFER TO ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS IF APPLICABLE FOR CUTTING AND PATCHING WORK.

EXISTING CONDITION NOTES:

1. (E) EXTERIOR WALLS: 2X4 STUD @16" O.C. 8" CONCRETE FOUNDATION WALLS WITH FOOTINGS.
2. (E) FLOOR STRUCTURE: WOOD FRAMED CRAWLSPACE FLOOR AT MAIN LEVEL, SLAB ON GRADE AT GARAGE, AND WOOD FRAMED FLOOR AT SECOND LEVEL.
3. (E) ROOF STRUCTURE: SITE-CUT ROOF TRUSSES.
4. (E) HEATING: CENTRAL FORCED AIR HEATING - NATURAL GAS - PUBLIC SUPPLY, GAS METER.
5. (E) HOT WATER UNIT: GAS FUELED.
6. (E) ATTIC: VENTED THROUGH SOFFIT AND ROOF VENTS.

STRUCTURAL ALTERATION CALCULATION:

PER MICC 19.01.050 (D)(1)(b)(iii)
REFERENCE DEMO PLANS ON SHEET A101 & A103 FOR DIMENSIONS OF STRUCTURALLY ALTERED WALLS

PERCENTAGE OF EXTERIOR WALLS ALTERED =

(SUM OF THE LENGTH OF EXISTING EXTERIOR WALLS TO BE STRUCTURALLY ALTERED) ÷ (SUM OF THE LENGTH OF EXISTING EXTERIOR WALLS)

(45.4 FEET) ÷ (204.21 FEET) = **22%**

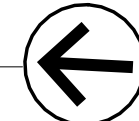
(A) THE "SUM OF THE LENGTH OF EXISTING EXTERIOR WALLS TO BE STRUCTURALLY ALTERED" IS THE SUM OF EACH WALL SEGMENT THAT IS COMPLETELY DEMOLISHED.

(B) THE "SUM OF THE LENGTH OF EXTERIOR WALLS" IS THE SUM OF THE LENGTHS OF EACH EXTERIOR WALL SEGMENT OF A STRUCTURE OR BUILDING.

FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION	NOTES
	EXISTING WALL	2X4 STUD @ 16" O.C. (EXT. U.N.O) 2X4 STUD @ 16" O.C. (INT. U.N.O) 8" CONCRETE WALL (EXT.)
	NEW WALL	2X6 STUD @ 16" O.C. (EXT. U.N.O) 2X4 STUD @ 16" O.C. (INT. U.N.O)
	DEMO WALL	2X4 STUD @ 16" O.C. (EXT. U.N.O) 2X4 STUD @ 16" O.C. (INT. U.N.O)

1 LEVEL 2 - DEMO
1/4" = 1'-0"



HERNANDEZ RESIDENCE
7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

Project Status:

PERMIT DRAWINGS SET

Project Owner:

RODOLFO HERNANDEZ &
SHANNON MCINTYRE

Record #:

2402-026

Date:

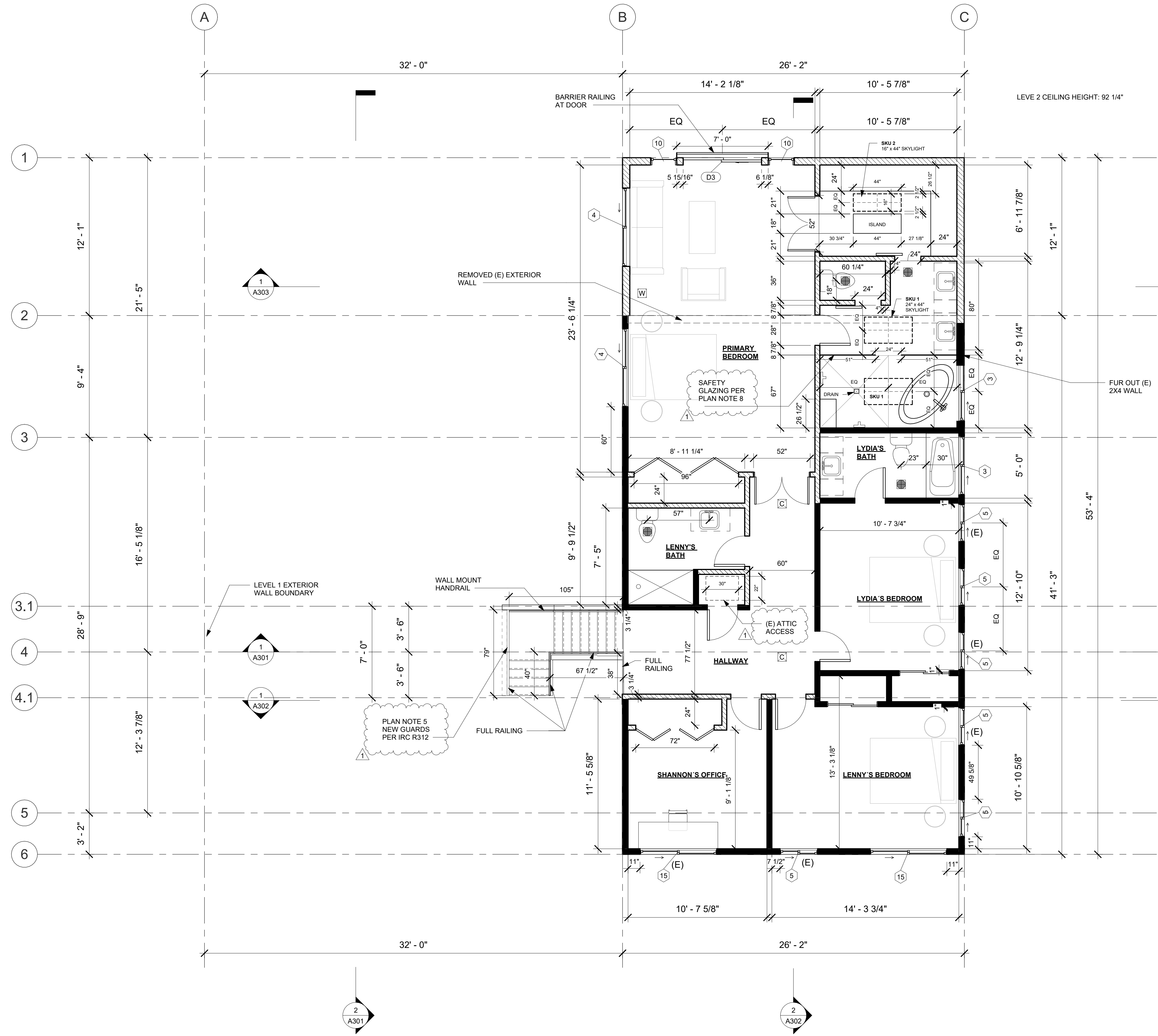
05/22/24

DEMO LEVEL 2

A103

Scale:

1/4" = 1'-0"



PLAN NOTES:

- CONTRACTOR TO VERIFY MEASUREMENTS OF EXISTING CONDITIONS PRIOR TO CONSTRUCTION. DIMENSIONS SUBJECT TO CONVENTIONAL TOLERANCES.
- REFER TO ELEVATIONS FOR WINDOW AND EXTERIOR DOOR SCHEDULES INCLUDING UNIT SIZE.
- GAS INSERT FIREPLACE. VERIFY REQUIRED FRAMING WIDTH, HEIGHT, AND DEPTH PER MANUFACTURER SPECIFICATIONS. REPLACE (E) GLASS PANELS IN (E) FRAME - CONTRACTOR TO VERIFY GLASS PANEL DIMENSION FOR REPLACEMENT.
- STAIR DIMENSIONS PER IRC R311.7, MAIN INTERIOR STAIR SHALL BE REBUILT AND NEW GUARDS WILL BE INSTALLED TO COMPLY WITH IRC R312.
- AIR EXHAUST OPENINGS SHALL TERMINATE NOT LESS THAN 3 FEET FROM OPERABLE AND NONOPERABLE OPENINGS INTO THE BUILDING AND 10 FEET FROM MECHANICAL AIR INTAKES EXCEPT WHERE THE OPENING IS LOCATED 3 FEET ABOVE THE AIR INTAKE.
- PROVIDE FIREBLOCKING FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING.
- SAFETY GLAZING REQUIRED AT WET SURFACES (PER IRC R308.4.5) GLAZING IN WALLS, ENCLOSURES CONTAINING OR FACING HOT TUBS, SPAS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND SIMILAR, WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE CONSIDERED A HAZARDOUS LOCATION. APPLIES TO SINGLE GLAZING AND EACH PANE IN MULTIPLE GLAZING.

GUARDS (PER IRC R312.1)

REQUIRED HEIGHT: MAX 36 INCHES AS MEASURED VERTICALLY ABOVE THE ADJACENT WALKING SURFACE OR THE LINE CONNECTING THE NOSINGS.
MAX OPENINGS: FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT THAT ALLOW PASSAGE OF A SPHERE 4 INCHES IN DIAMETER.
MAX OPENINGS AT STAIRS: THE TRIANGULAR OPENINGS AT THE OPEN SIDE OF STAIR, FORMED BY THE RISER, TREAD AND BOTTOM RAIL OF A GUARD, SHALL NOT ALLOW PASSAGE OF A SPHERE 6 INCHES IN DIAMETER.
GUARDS ON THE OPEN SIDE OF STAIRS SHALL NOT HAVE OPENINGS THAT ALLOW PASSAGE OF A SPHERE 4 3/8 INCHES IN DIAMETER.

WHOLE HOUSE VENTILATION:

CALCULATION PER TABLE M1505.4.3(1)

PROPOSED ADDITION CONDITIONED SF: 632 SF
NUMBER OF BEDROOMS: 2
VENTILATION AIRFLOW RATE (CFM): 35 CFM

WHOLE HOUSE VENTILATION: 35 CFM CONTINUOUSLY

FLOOR PLAN LEGEND

SYMBOL	DESCRIPTION	NOTES
	EXISTING WALL	2X4 STUD @ 16" O.C. (EXT. U.N.O) 2X4 STUD @ 16" O.C. (INT. U.N.O) 8" CONCRETE WALL (EXT.)
	NEW WALL	2X6 STUD @ 16" O.C. (EXT. U.N.O) 2X4 STUD @ 16" O.C. (INT. U.N.O)
	DEMO WALL	2X4 STUD @ 16" O.C. (EXT. U.N.O) 2X4 STUD @ 16" O.C. (INT. U.N.O)

SYMBOLS LEGEND

SYMBOL	DESCRIPTION
	FAN MIN 50 CFM, BATH, TOILET ROOM & LAUNDRY FAN MIN 100 CFM, KITCHEN
	COMBINED CARBON MONOXIDE DETECTOR & SMOKE DETECTORS
	SMOKE DETECTOR INTERCONNECTED AND HARDWIRED W/ BATTERY BACKUP
	CARBON MONOXIDE DETECTOR, INTERCONNECTED AND HARDWIRED W/BATTERY BACKUP
	WHOLE HOUSE VENTILATION 35 CFM CONTINUOUSLY

REVISION TABLE		
Revision #	Date	Revision Description
1	5/22/2024	Revision 1

HERNANDEZ RESIDENCE
7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

Project Status:

PERMIT DRAWINGS SET

Project Owner:

RODOLFO HERNANDEZ &
SHANNON MCINTYRE

Record #: 2402-026

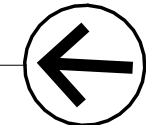
Date: 05/22/24

PROPOSED LEVEL 2

A104

Scale: 1/4" = 1'-0"

1 LEVEL 2
1/4" = 1'-0"



REVISION TABLE	
Revision #	Revision Description

HERNANDEZ RESIDENCE
7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

Project Status:
PERMIT DRAWINGS SET

Project Owner:
RODOLFO HERNANDEZ &
SHANNON MCINTYRE

Record #: 2402-026
Date: 05/22/24

DEMO ROOF PLAN

A105

Scale: 1/4" = 1'-0"

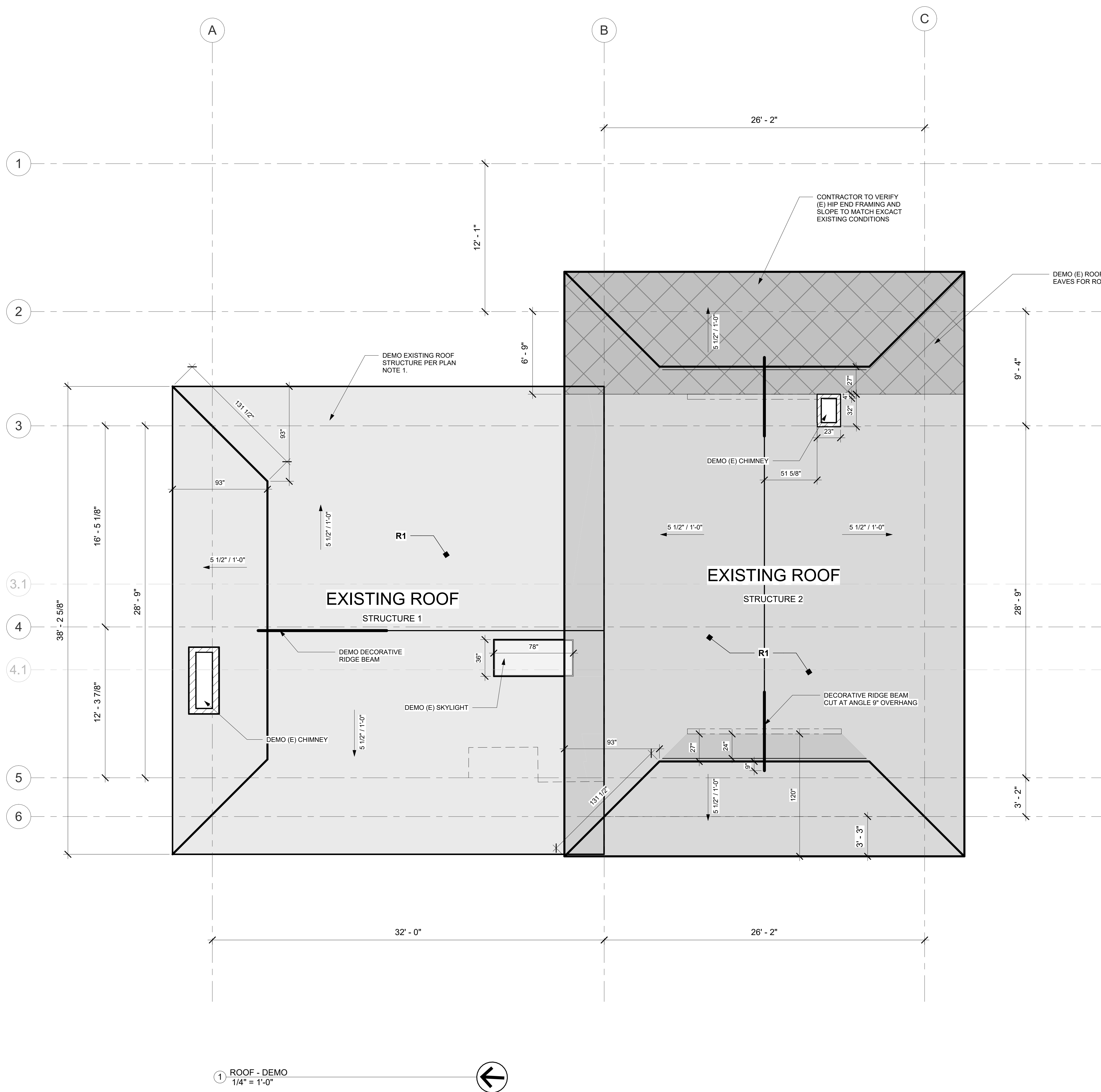
PLAN NOTES:

1. DEMO EXISTING ROOF OF MAIN LEVEL STRUCTURE. SPECIAL PRECAUTIONS MUST BE TAKEN WHEN CLIPPING EXISTING DUCTWORK AND ELECTRICAL WIRES DURING DEMOLITION.
2. EXISTING END HIP ROOF TO BE VERIFIED ON-SITE TO MATCH EXACT EXISTING CONDITIONS ONCE ROOFING MATERIAL HAS BEEN REMOVED AND EXISTING STRUCTURE IS EXPOSED.
3. DEMOLITION: ITEMS INDICATED ON PLANS TO BE DEMOLISHED, SHALL BE COMPLETELY REMOVED AND DISPOSED UNLESS NOTED OTHERWISE. CONTRACTOR/OWNER RESPONSIBLE FOR REVIEW OF THE HAZARDOUS MATERIALS ABATEMENT, REFER TO ARCHITECTURAL, STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS IF APPLICABLE FOR CUTTING AND PATCHING WORK.

EXISTING CONDITION NOTES:

1. (E) EXTERIOR WALLS: 2X4 STUD @16" O.C.
2. 8" CONCRETE FOUNDATION WALLS WITH FOOTINGS.
3. (E) FLOOR STRUCTURE: WOOD FRAMED CRAWLSPACE FLOOR AT MAIN LEVEL, SLAB ON GRADE AT GARAGE, AND WOOD FRAMED FLOOR AT SECOND LEVEL.
4. (E) ROOF STRUCTURE: SITE-CUT ROOF TRUSSES.
5. (E) HEATING: CENTRAL FORCED AIR HEATING - NATURAL GAS - PUBLIC SUPPLY, GAS METER.
6. (E) HOT WATER UNIT: GAS FUELED.
7. (E) ATTIC: VENTED THROUGH SOFFIT AND ROOF VENTS.

ROOF ASSEMBLIES		
TYPE	RATING	ASSEMBLY
R1 - (E)	0-HR	-ASPHALT SHINGLES, UNDERLAYMENT, SHEATHING -SITE-CUT TRUSSES -BATT INSULATION, 1/2" GWB CEILING
R2	0-HR	-ASPHALT SHINGLES, UNDERLAYMENT, SHEATHING PER SRTUCT. -2 X 12 RAFTERS PER SRTUCT. -10-1/4" HIGH PERFORM. BATT INSULATION R-38, 1/2" GWB CEILING
R3	0-HR	-TPO, ICE AND WATER BARRIER, SHEATHING PER SRTUCT. -2 X 12 RAFTERS PER STRUCT. -10-1/4" HP BATT INSULATION R-38, 1/2" GWB CEILING
R4	0-HR	-ASPHALT SHINGLES, UNDERLAYMENT, SHEATHING PER STRUCT. -PREFABRICATED TRUSSES PER STRUCT. -BATT INSULATION MIN R-49, 1/2" GWB CEILING



1 ROOF - DEMO
1/4" = 1'-0"

REVISION TABLE	
Revision #	Revision Description

HERNANDEZ RESIDENCE
7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

Project Status: PERMIT DRAWINGS SET
Project Owner: RODOLFO HERNANDEZ & SHANNON MCINTYRE
Record #: 2402-026
Date: 05/22/24

PROPOSED ROOF PLAN

A106

Scale: 1/4" = 1'-0"

PLAN NOTES:

- STRUCTURAL SPECIFICATIONS PER STRUCTURAL PLANS.
- THERMOSET SINGLE-PLY MEMBRANE ROOFS SHALL HAVE A DESIGN SLOPE OF NOT LESS THAN ONE-FOURTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE) FOR DRAINAGE.
- CEILINGS VAULTED - SINGLE RAFTER MUST HAVE A MIN INSULATION VALUE OF R38 WITH THE FULL INSULATION DEPTH EXTENDING OVER THE TOP PLATE OF THE EXTERIOR WALL.
- CEILINGS W/ ATTICS MINIMUM INSULATION VALUE OF R-49. PROVIDE FIREBLOCKING FROM THE WALL TOP PLATE TO THE UNDERSIDE OF THE ROOF SHEATHING.
- ROOF PITCH PER PLAN UNLESS NOTED OTHERWISE.

SKYLIGHTS AND SLOPED GLAZING (PER IRC R308.6)

R308.6.2 MATERIALS: MORE THAN 12 FEET ABOVE A WALKING SURFACE THE INTERLAYER THICKNESS SHALL BE NOT LESS THAN: LAMINATED GLASS WITH POLYVINYL BUTYRAL INTERLAYER THICKNESS NOT LESS THAN 0.030 INCH (0.76 MM).

CURBS FOR SKYLIGHTS (PER IRC R308.6.8)

UNIT SKYLIGHTS INSTALLED IN A ROOF WITH A PITCH OF LESS THAN THREE UNITS VERTICAL IN 12 UNITS HORIZONTAL (25-PERCENT SLOPE) SHALL BE MOUNTED ON A CURB EXTENDING NOT LESS THAN 4 INCHES ABOVE THE PLANE OF THE ROOF, UNLESS SPECIFIED IN THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

UNIT SKYLIGHTS TESTING AND LABELING (PER IRC R308.6.9)

SHALL BE TESTED BY AN APPROVED INDEPENDENT LABORATORY, AND BEAR A LABEL IDENTIFYING MANUFACTURER, PERFORMANCE GRADE RATING AND APPROVED INSPECTION AGENCY TO INDICATE COMPLIANCE WITH THE REQUIREMENTS OF AAMA/WDMA/CSA 1011/S.2/A440.

THERMOSET SINGLE-PLY ROOFING (PER IRC R905.12)

INSTALLATION OF THERMOSET SINGLE-PLY ROOFING SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION. SHALL HAVE A DESIGN SLOPE OF MINIMUM ONE-FOURTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE) FOR DRAINAGE. R905.12.3 APPLICATION: THERMOSET SINGLE-PLY ROOFS SHALL BE INSTALLED IN ACCORDANCE WITH THIS CHAPTER AND THE MANUFACTURER'S INSTRUCTIONS.

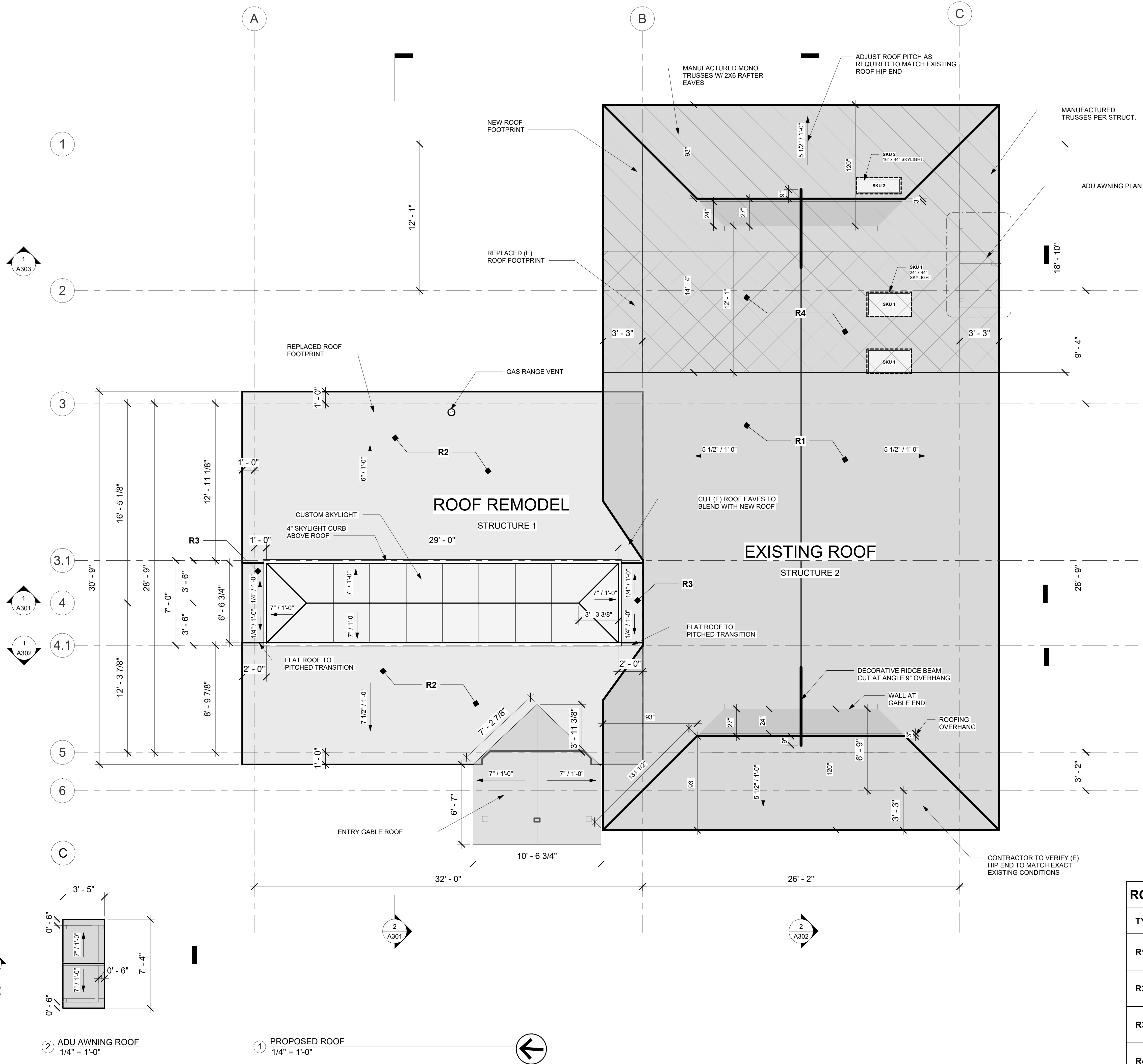
ROOF VENTILATION CALCULATIONS: (PER IRC R806)

ATTIC VENTILATION REQUIRED:
1 SF OF VENTILATION AREA FOR EACH 300 SF OF ATTIC AREA.
EXISTING VENTED ATTIC: VENTED THROUGH SOFFIT AND ROOF VENTS.

NEW VENTED ATTIC AREA: 493 SQ.FT
493 / 300 = 1.6 SQ.FT OF NFVA

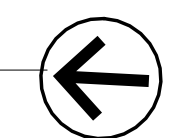
50% INTAKE		50% OUTLET	
REQUIRED INTAKE (SQ.FT)	0.8	REQUIRED OUTLET (SQ.FT)	0.8
SQ.IN PER (SQ.FT)	144	SQ.IN PER (SQ.FT)	144
REQUIRED INTAKE (SQ.IN)	115.2	REQUIRED OUTLET (SQ.IN)	115.2
LINEAR FT OF INTAKE	63.8	LINEAR FT OF OUTLET	12.1
INTAKE VENT SQ.IN PER LINEAR FT	1.8	OUTLET VENT SQ.IN PER LINEAR FT	9.5
INTAKE VENT SPECS: COR-A-VENT SOFFIT VENT R5-400 18.75 SQ.IN NFVA/LF OR SIMILAR		OUTLET VENT SPECS: COR-A-VENT RIDGE VENT V-300 13.5 SQ.IN NFVA/LF OR SIMILAR	

ROOF ASSEMBLIES		
TYPE	RATING	ASSEMBLY
R1 - (E)	0-HR	-ASPHALT SHINGLES, UNDERLAYMENT, SHEATHING -SITE-CUT TRUSSES -BATT INSULATION, 1/2" GWB CEILING
R2	0-HR	-ASPHALT SHINGLES, UNDERLAYMENT, SHEATHING PER SRUCT. -2 X 12 RAFTERS PER SRUCT. -10-1/4" HIGH PERFORM. BATT INSULATION R-38, 1/2" GWB CEILING
R3	0-HR	-TPO, ICE AND WATER BARRIER, SHEATHING PER SRUCT. -2 X 12 RAFTERS PER SRUCT. -10-1/4" HP BATT INSULATION R-38, 1/2" GWB CEILING
R4	0-HR	-ASPHALT SHINGLES, UNDERLAYMENT, SHEATHING PER STRUCT. -PREFABRICATED TRUSSES PER STRUCT. -BATT INSULATION MIN R-49, 1/2" GWB CEILING

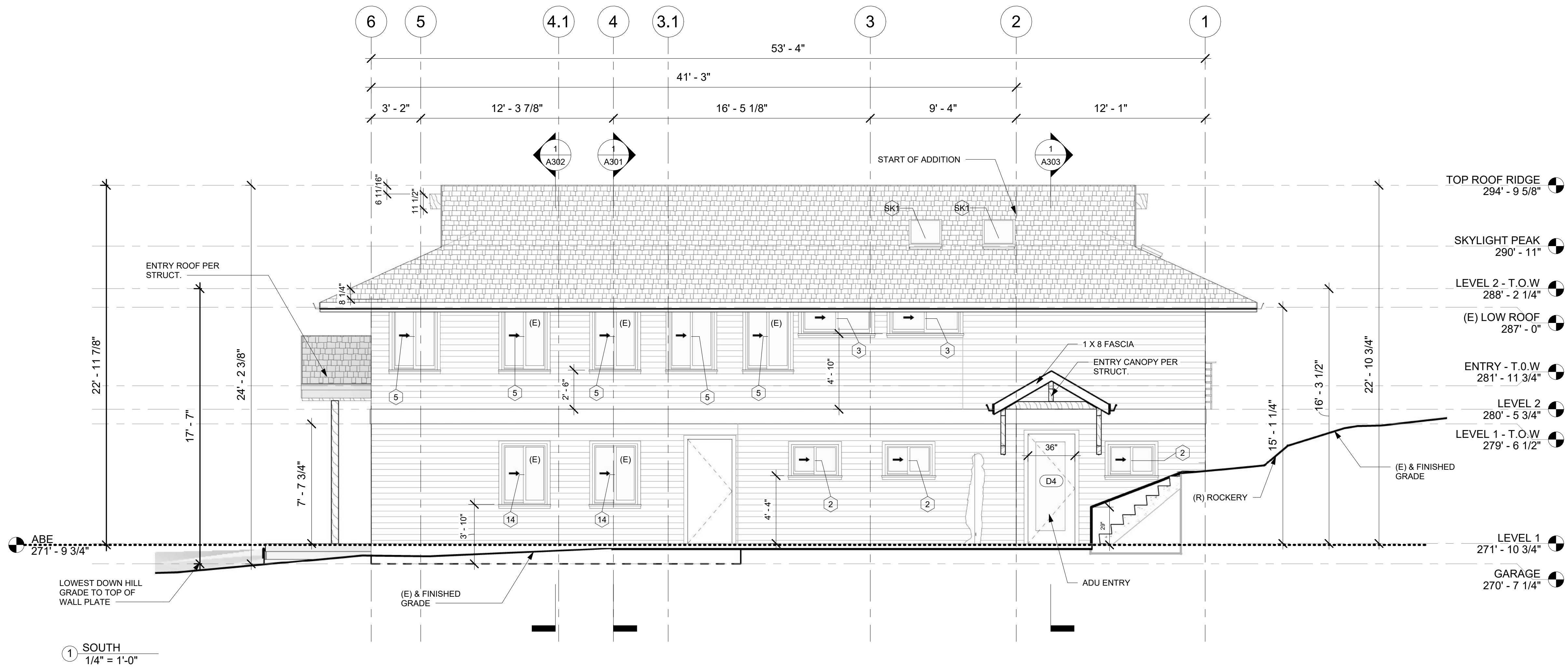


2 ADU AWNING ROOF
1/4" = 1'-0"

1 PROPOSED ROOF
1/4" = 1'-0"



REVISION TABLE	
Revision #	Revision Description



1 SOUTH
1/4" = 1'-0"

WINDOW AND DOOR NOTES:

- ALL FENESTRATION TO BE NFRC-CERTIFIED.
- CONTRACTOR TO VERIFY (E) WINDOW ROUGH OPENING MEASUREMENTS PRIOR TO PROCURMENT. VERIFY ROUGH OPENING DIMENSIONS AND FINISH REQUIREMENTS OF NEW WINDOWS.
- HEADER SIZING PER STRUCTURAL PLANS.
- REPLACE ALL EXISTING WINDOWS WITH UPDATED WINDOWS, IN EXISTING ROUGH OPENING U.N.O
- (E) - REPLACE ALL EXISTING WINDOWS WITH U-FACTOR OF .30
- WINDOWS AT ADDITION TO HAVE A U-FACTOR OF .28 PER ENERGY CODE CREDIT OPTION 1.3.
- THE ADDITION'S SIDING, ROOFING, & ARCHITECTURAL DETAILS TO MATCH EXISTING CONDITIONS.
- AN AREA-WEIGHTED AVERAGE OF FENESTRATION PRODUCTS SHALL BE PERMITTED TO SATISFY THE U-FACTOR REQUIREMENTS PER R402.3.1.
- SAFETY GLAZING SHALL BE PROVIDED ON ALL WINDOWS AND GLAZED DOORS AT HAZARDOUS LOCATIONS PER IRC 308.4 (IRC R310); EGRESS WINDOWS TO PROVIDE 5.7 SF MINIMUM NET OPENING; 20" MINIMUM CLEAR WIDTH; 24" MINIMUM CLEAR HEIGHT; SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WITHOUT USE OF KEYS OR TOOLS.

ELEVATION LEGEND

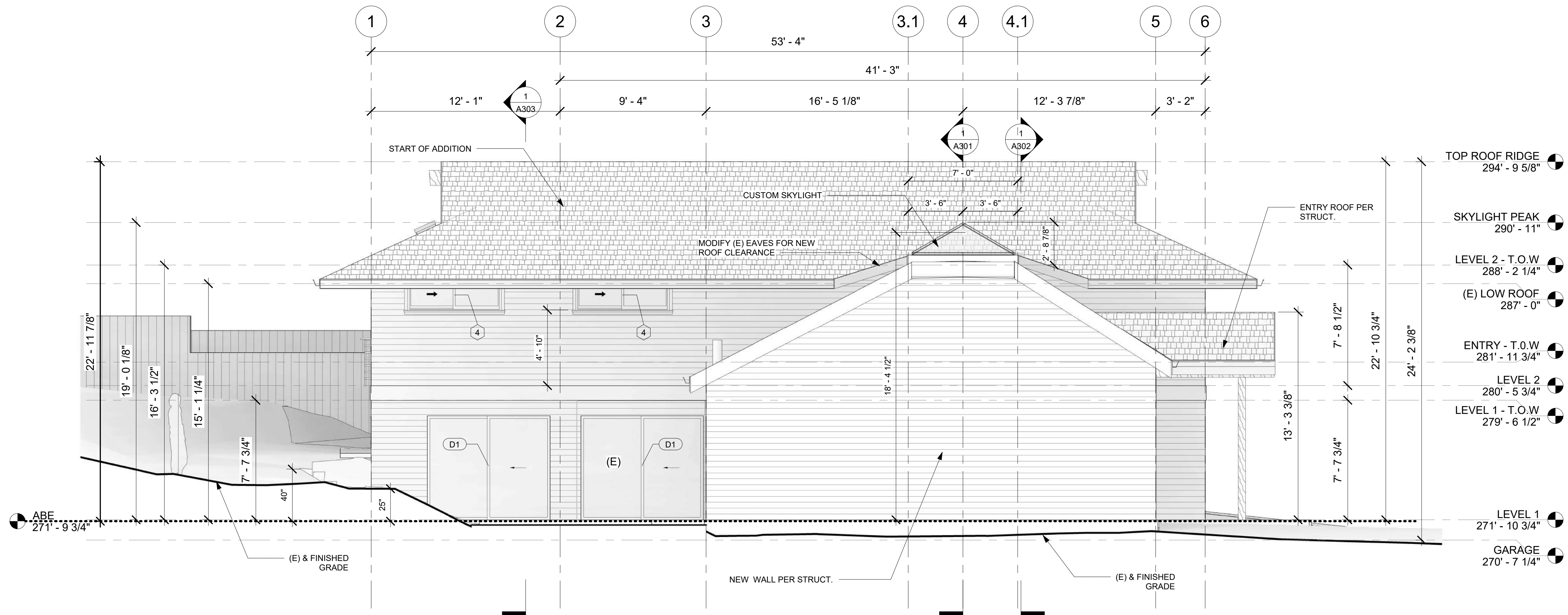
SYMBOL	DESCRIPTION	NOTES
	(E) 4.5" CEDAR LAP SIDING	MATCH (E) SIDING AT ADDITION & NEW EXT. WALLS
	3" WOOD SLAT SIDING	NEW AT ENTRY ACCENT WALL
	(E) ASPHALT ROOF SHINGLES	MATCH EXISTING SHINGLES AT NEW & REPLACED ROOF

Window Schedule

Type Mark	Type	Width	Height
2	36"x24"	3'-0"	2'-0"
3	54" x 24"	4'-6"	2'-0"
4	72" x 24"	6'-0"	2'-0"
5	34.5" x 52.5"	2'-10 1/2"	4'-4 1/2"
7	70"x22"	5'-10"	1'-10"
10	24" x 84"	2'-0"	7'-0"
11	36" x 48"	3'-0"	4'-0"
12	132" x 40"	11'-0"	3'-4"
14	34.5" x 46.5"	2'-10 1/2"	3'-10 1/2"
15	70.5" x 52.5"	5'-10 1/2"	4'-4 1/2"
16	72" x 18"	6'-0"	1'-6"
SK1	44" x 24"	3'-8"	2'-0"
SK2	44" x 16"	3'-8"	1'-4"

Exterior Door Schedule

Type Mark	Type	Width	Height
D1	Exterior Double Sliding Door 94" x 80"	7'-10"	6'-8"
D2	Exterior Double Front Entry Door 72" x 80"	6'-0"	6'-8"
D3	Exterior Double Sliding Door 72" x 82"	6'-0"	6'-10"
D4	Exterior Single Entry Door 36" X 84"	3'-0"	7'-0"
D5	Bifold Door Full Glass 132" x 90"	11'-0"	7'-6"



2 NORTH
1/4" = 1'-0"

HERNANDEZ RESIDENCE
7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

Project Status:

PERMIT DRAWINGS SET

Project Owner:

RODOLFO HERNANDEZ & SHANNON MCINTYRE

Record #: 2402-026

Date: 05/22/24

N-S ELEVATIONS

A201

Scale: 1/4" = 1'-0"

BUILD STUFF

BUILD STUFF LLC
206-771-5014
diego@buildstuffstudios.com

REVISION TABLE	
Revision #	Revision Description

HERNANDEZ RESIDENCE
7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

Project Status:
PERMIT DRAWINGS SET

Project Owner:
RODOLFO HERNANDEZ &
SHANNON MCINTYRE

Record #: 2402-026
Date: 05/22/24

W-E ELEVATIONS

A202

Scale: 1/4" = 1'-0"

- WINDOW AND DOOR NOTES:**
- ALL FENESTRATION TO BE NFRC-CERTIFIED.
 - CONTRACTOR TO VERIFY (E) WINDOW ROUGH OPENING MEASUREMENTS PRIOR TO PROCURMENT. VERIFY ROUGH OPENING DIMENSIONS AND FINISH REQUIREMENTS OF NEW WINDOWS.
 - HEADER SIZING PER STRUCTURAL PLANS.
 - REPLACE ALL EXISTING WINDOWS WITH UPDATED WINDOWS, IN EXISTING ROUGH OPENING U.N.O
 - (E) - REPLACE ALL EXISTING WINDOWS WITH U-FACTOR OF .30 PER ENERGY CODE CREDIT OPTION 1.3.
 - THE ADDITION'S SIDING, ROOFING, & ARCHITECTURAL DETAILS TO MATCH EXISTING CONDITIONS.
 - AN AREA-WEIGHTED AVERAGE OF FENESTRATION PRODUCTS SHALL BE PERMITTED TO SATISFY THE U-FACTOR REQUIREMENTS PER R402.3.1.
 - SAFETY GLAZING SHALL BE PROVIDED ON ALL WINDOWS AND GLAZED DOORS AT HAZARDOUS LOCATIONS PER IRC 308.4 (IRC R310); EGRESS WINDOWS TO PROVIDE 5.7 SF MINIMUM NET OPENING; 20" MINIMUM CLEAR WIDTH; 24" MINIMUM CLEAR HEIGHT; SHALL BE OPERATIONAL FROM THE INSIDE OF THE ROOM WINTHOUT USE OF KEYS OR TOOLS.

ELEVATION LEGEND

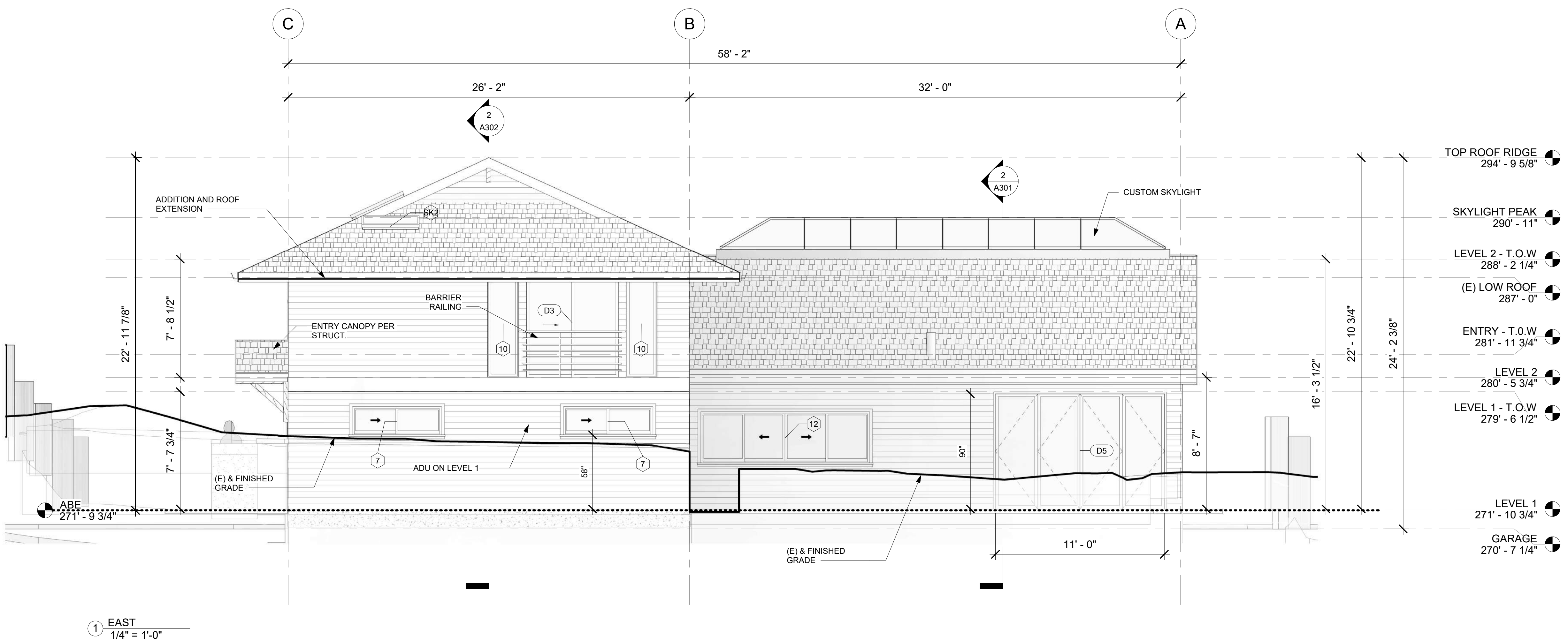
SYMBOL	DESCRIPTION	NOTES
	(E) 4.5" CEDAR LAP SIDING	MATCH (E) SIDING AT ADDITION & NEW EXT. WALLS
	3" WOOD SLAT SIDING	NEW AT ENTRY ACCENT WALL
	(E) ASPHALT ROOF SHINGLES	MATCH EXISTING SHINGLES AT NEW & REPLACED ROOF

Window Schedule

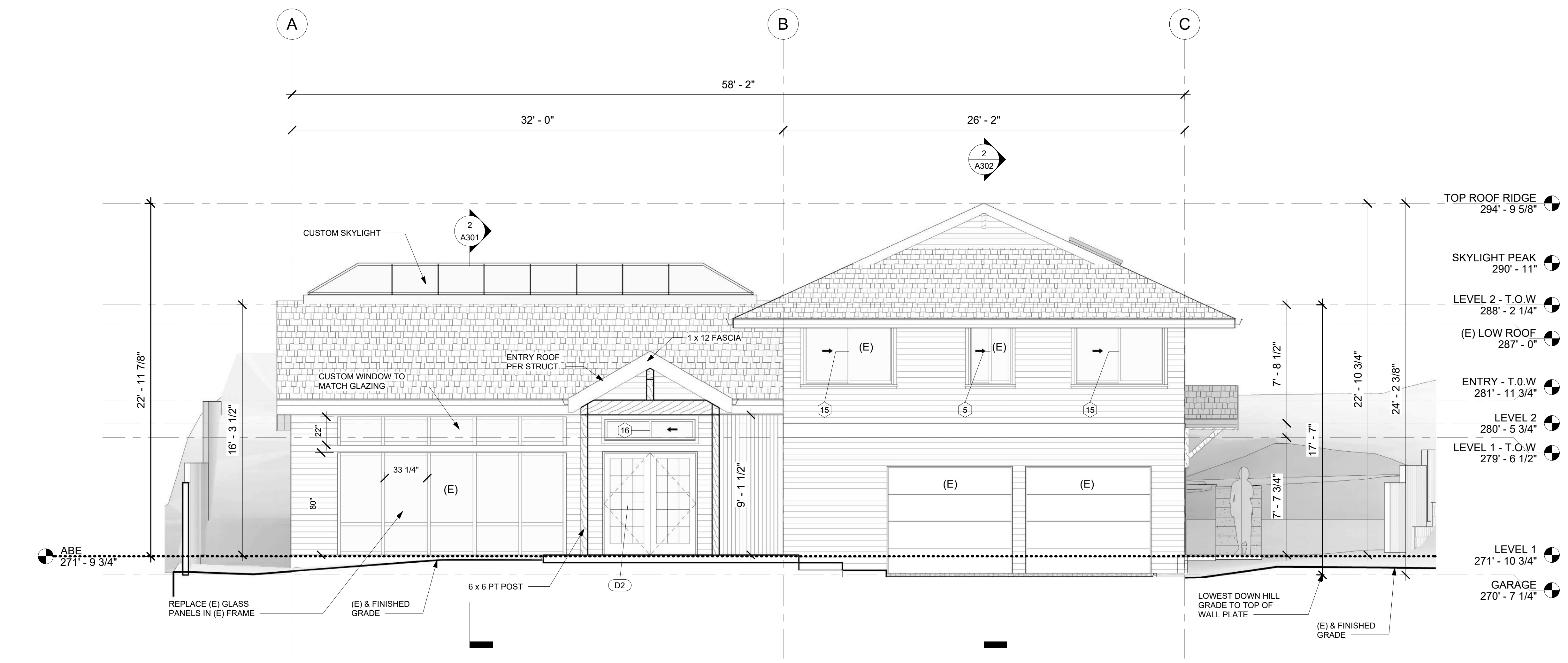
Type Mark	Type	Width	Height
2	36"x24"	3' - 0"	2' - 0"
3	54" x 24"	4' - 6"	2' - 0"
4	72" x 24"	6' - 0"	2' - 0"
5	34.5" x 52.5"	2' - 10 1/2"	4' - 4 1/2"
7	70"x22"	5' - 10"	1' - 10"
10	24" x 84"	2' - 0"	7' - 0"
11	36" x 48"	3' - 0"	4' - 0"
12	132" x 40"	11' - 0"	3' - 4"
14	34.5" x 46.5"	2' - 10 1/2"	3' - 10 1/2"
15	70.5" x 52.5"	5' - 10 1/2"	4' - 4 1/2"
16	72" x 18"	6' - 0"	1' - 6"
SK1	44" x 24"	3' - 8"	2' - 0"
SK2	44" x 16"	3' - 8"	1' - 4"

Exterior Door Schedule

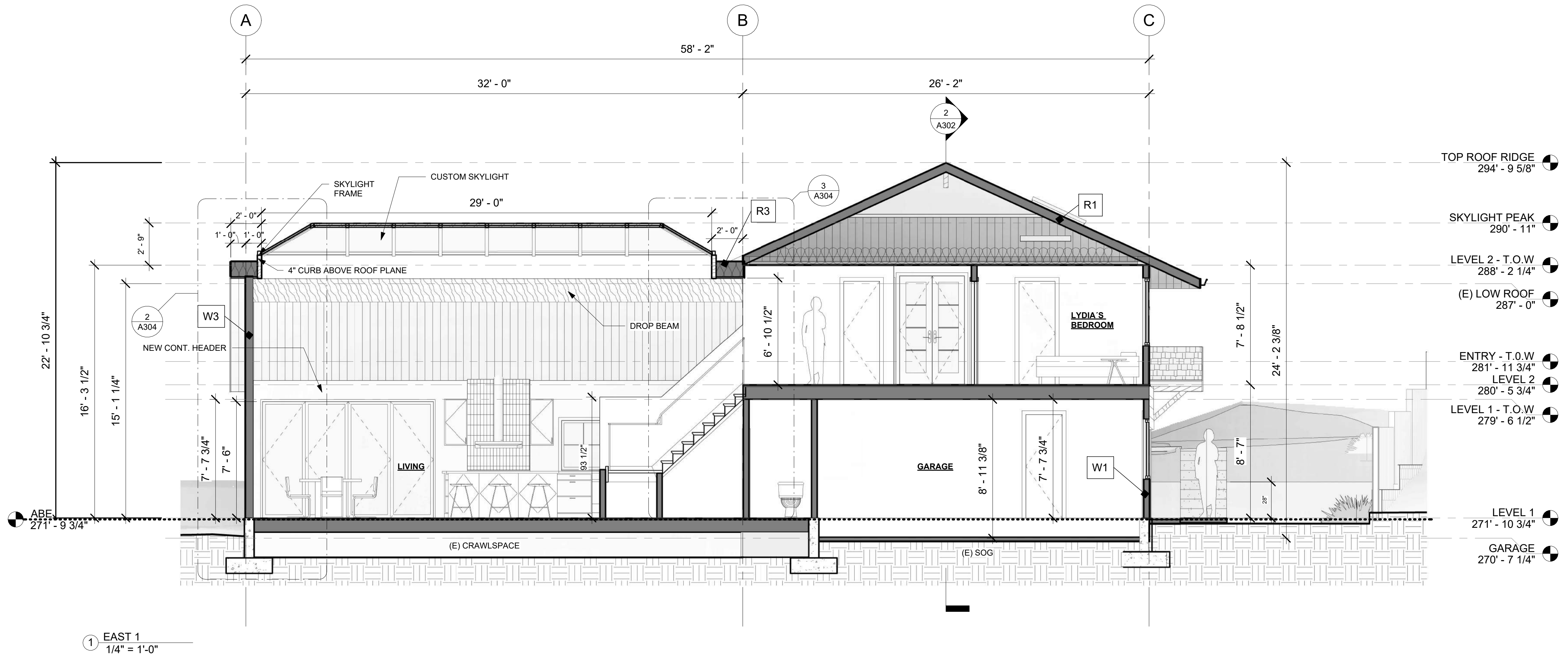
Type Mark	Type	Width	Height
D1	Exterior Double Sliding Door 94" x 80"	7' - 10"	6' - 8"
D2	Exterior Double Front Entry Door 72" x 80"	6' - 0"	6' - 8"
D3	Exterior Double Sliding Door 72" x 82"	6' - 0"	6' - 10"
D4	Exterior Single Entry Door 36" X 84"	3' - 0"	7' - 0"
D5	Bifold Door Full Glass 132" x 90"	11' - 0"	7' - 6"



1 EAST
1/4" = 1'-0"



2 WEST
1/4" = 1'-0"



SECTION NOTES:

1. REFER TO STRUCTURAL PLANS FOR STRUCTURAL SPECIFICATIONS.
2. REFER TO PROPOSED FLOOR AND ROOF PLANS FOR WALL AND ROOF ASSEMBLIES.
3. REFER TO ELEVATIONS FOR WINDOW AND EXTERIOR DOOR SCHEDULES.

REVISION TABLE	
Revision #	Revision Description

HERNANDEZ RESIDENCE
7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

Project Status:

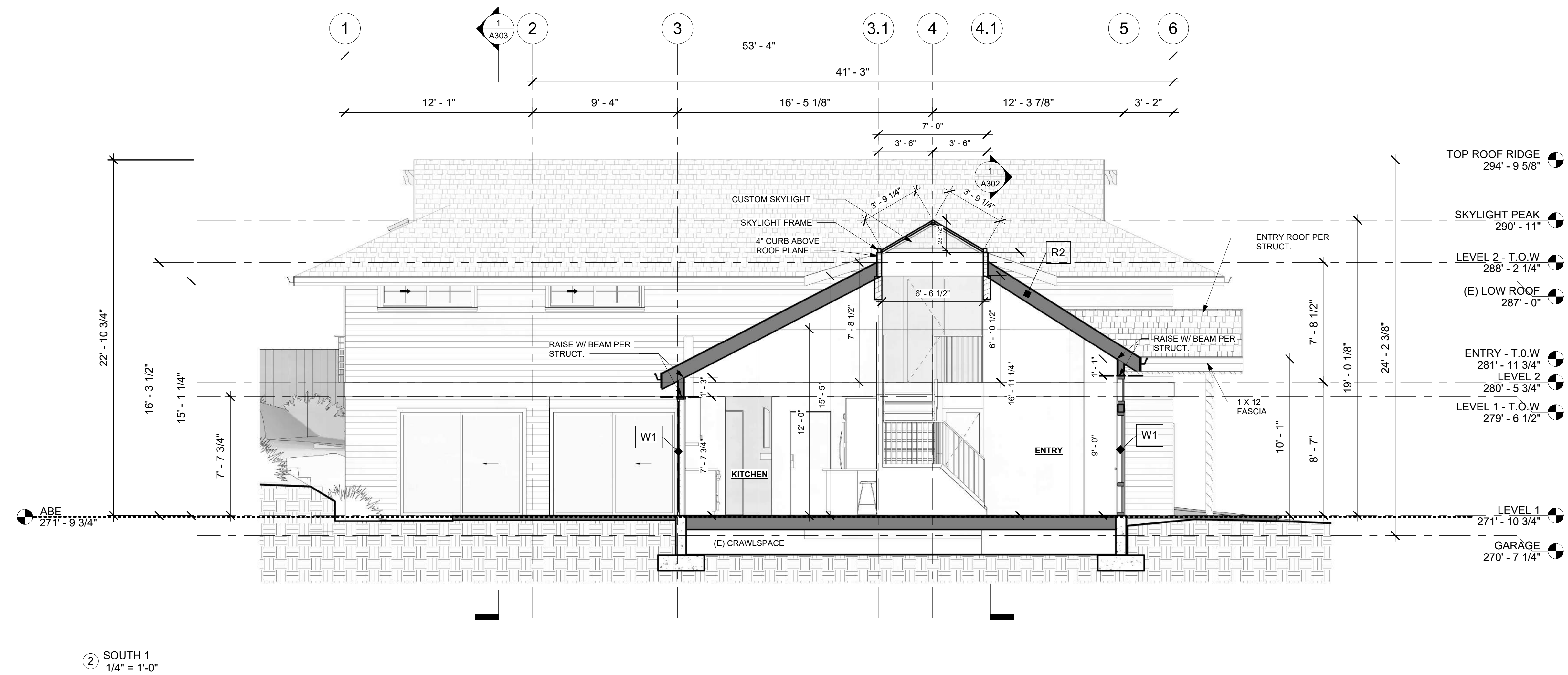
PERMIT DRAWINGS SET

Project Owner:

RODOLFO HERNANDEZ &
SHANNON MCINTYRE

Record #: 2402-026

Date: 05/22/24



BUILDING SECTIONS
1

A301

Scale: 1/4" = 1'-0"

SECTION NOTES:

1. REFER TO STRUCTURAL PLANS FOR STRUCTURAL SPECIFICATIONS.
2. REFER TO PROPOSED FLOOR AND ROOF PLANS FOR WALL AND ROOF ASSEMBLIES.
3. REFER TO ELEVATIONS FOR WINDOW AND EXTERIOR DOOR SCHEDULES.

REVISION TABLE		Revision	Description
Revision #	Date	5/22/2024	Revision 1
1			

HERNANDEZ RESIDENCE
7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

Project Status:

PERMIT DRAWINGS SET

Project Owner:

RODOLFO HERNANDEZ &
SHANNON MCINTYRE

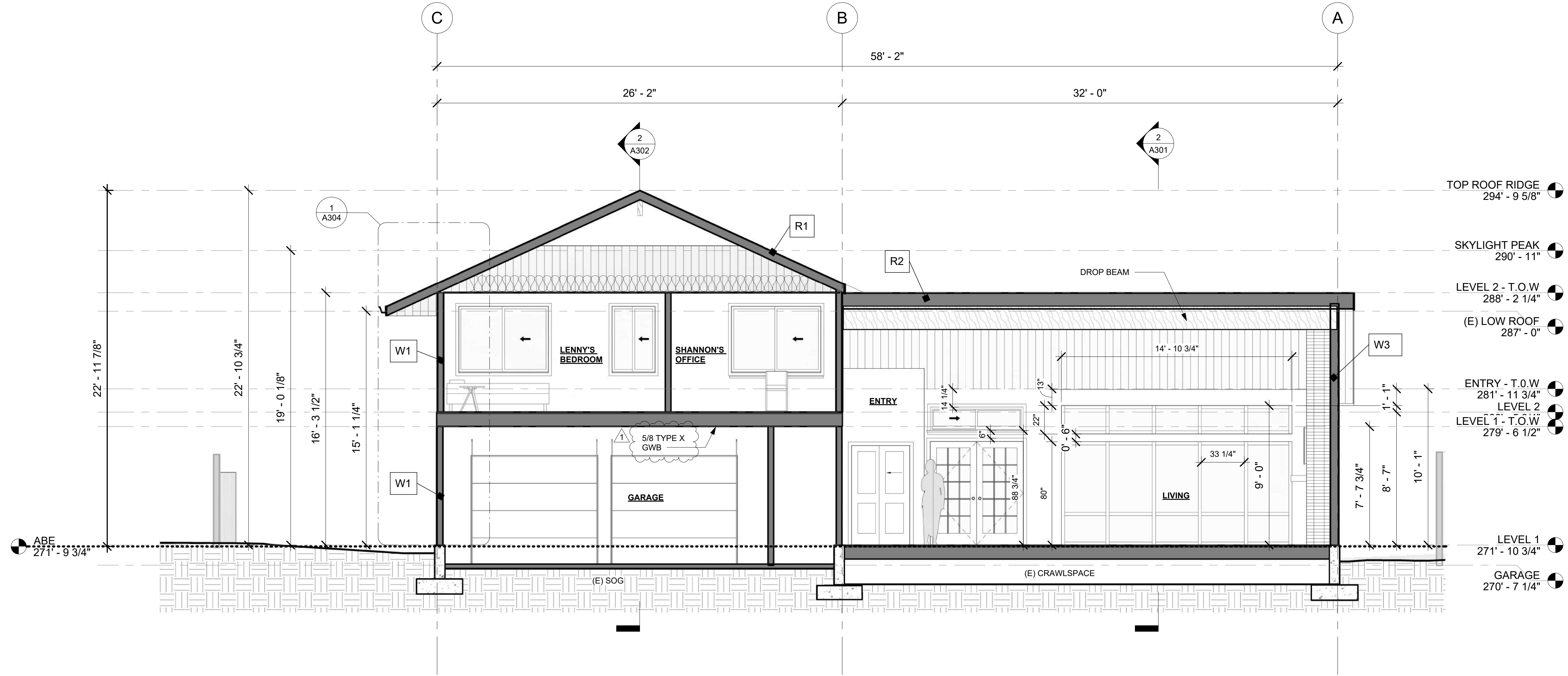
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Date: 05/22/24

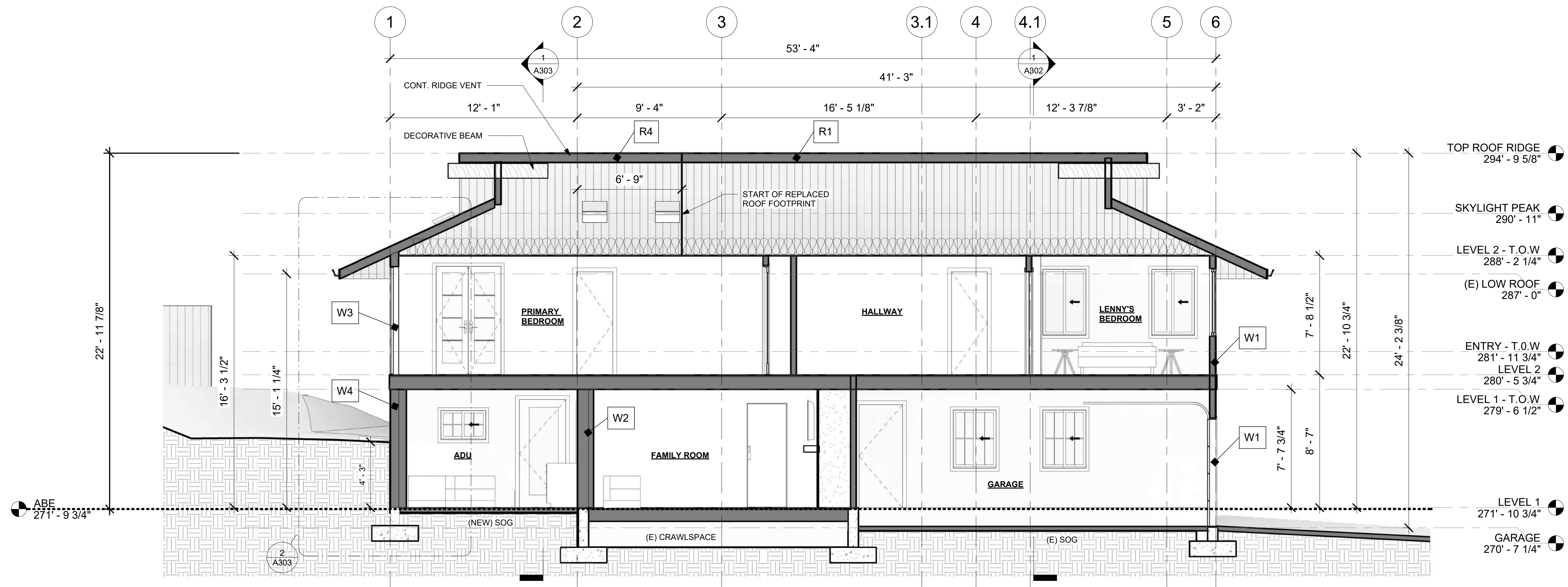
BUILDING SECTIONS
2

A302

Scale: 1/4" = 1'-0"



1 WEST 1
1/4" = 1'-0"



2 SOUTH 2
1/4" = 1'-0"

BUILD STUFF

BUILD STUFF LLC
206-771-5014
diego@buildstuffstudios.com

REVISION TABLE		Revision	Description
1	5/22/2024	Revision 1	

HERNANDEZ RESIDENCE
7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

Project Status: PERMIT DRAWINGS SET
Project Owner: RODOLFO HERNANDEZ & SHANNON MCINTYRE
Record #: 2402-026
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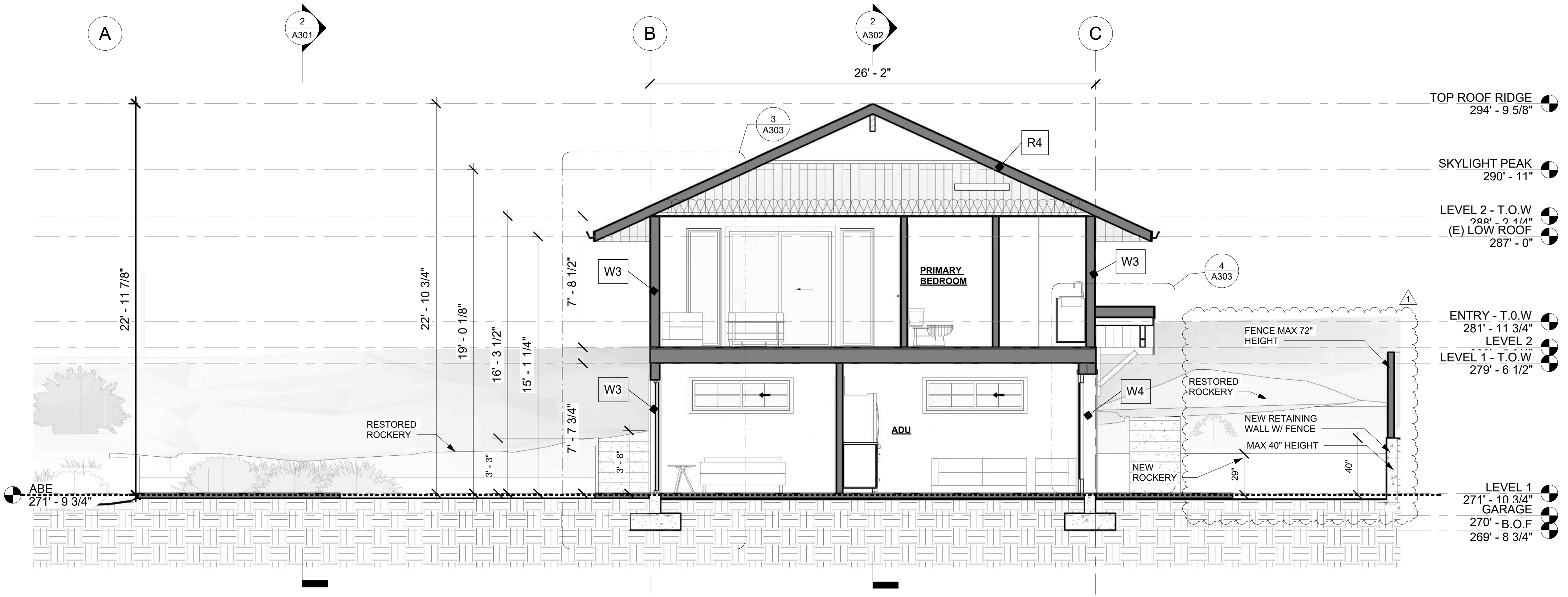
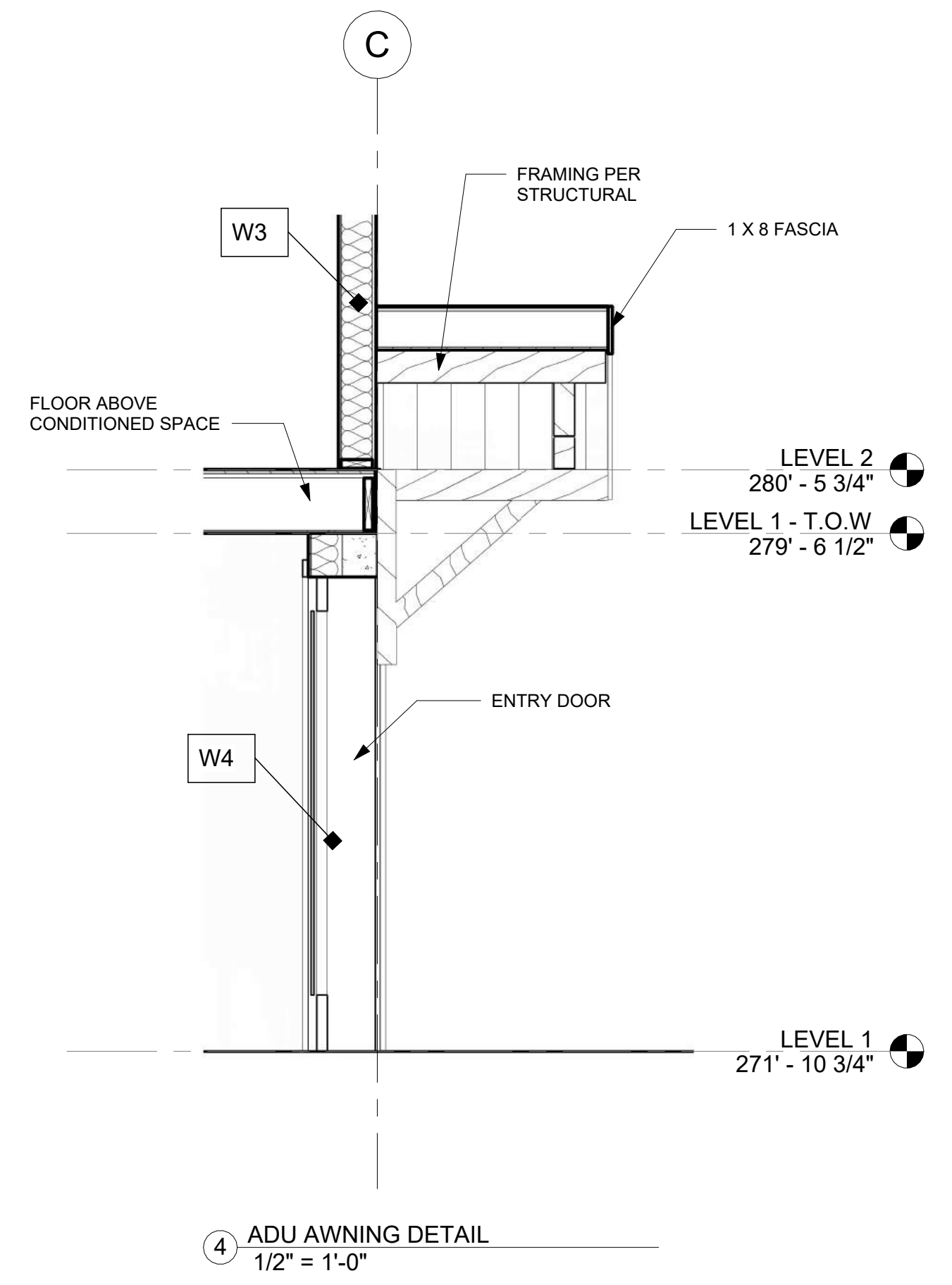
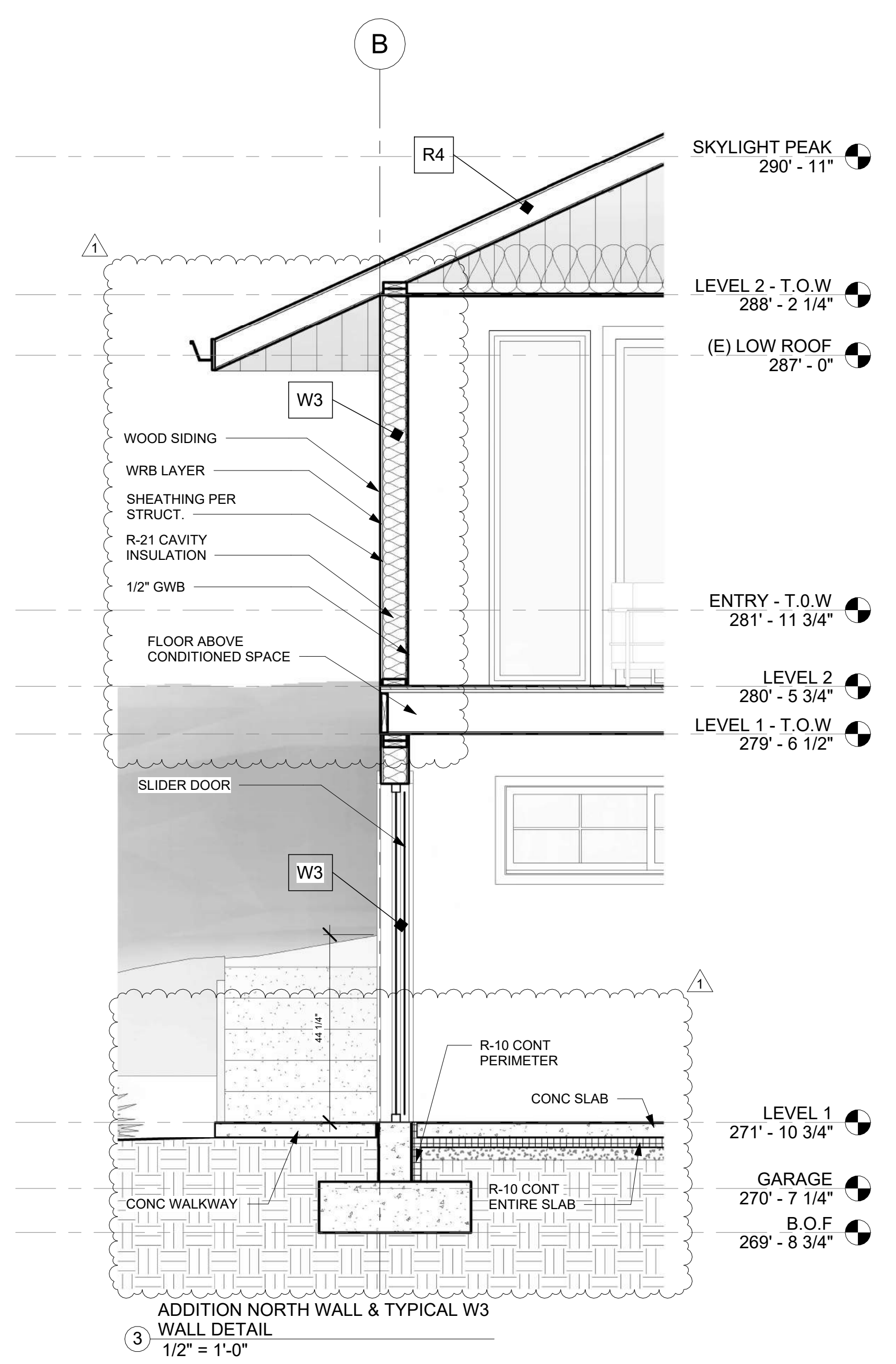
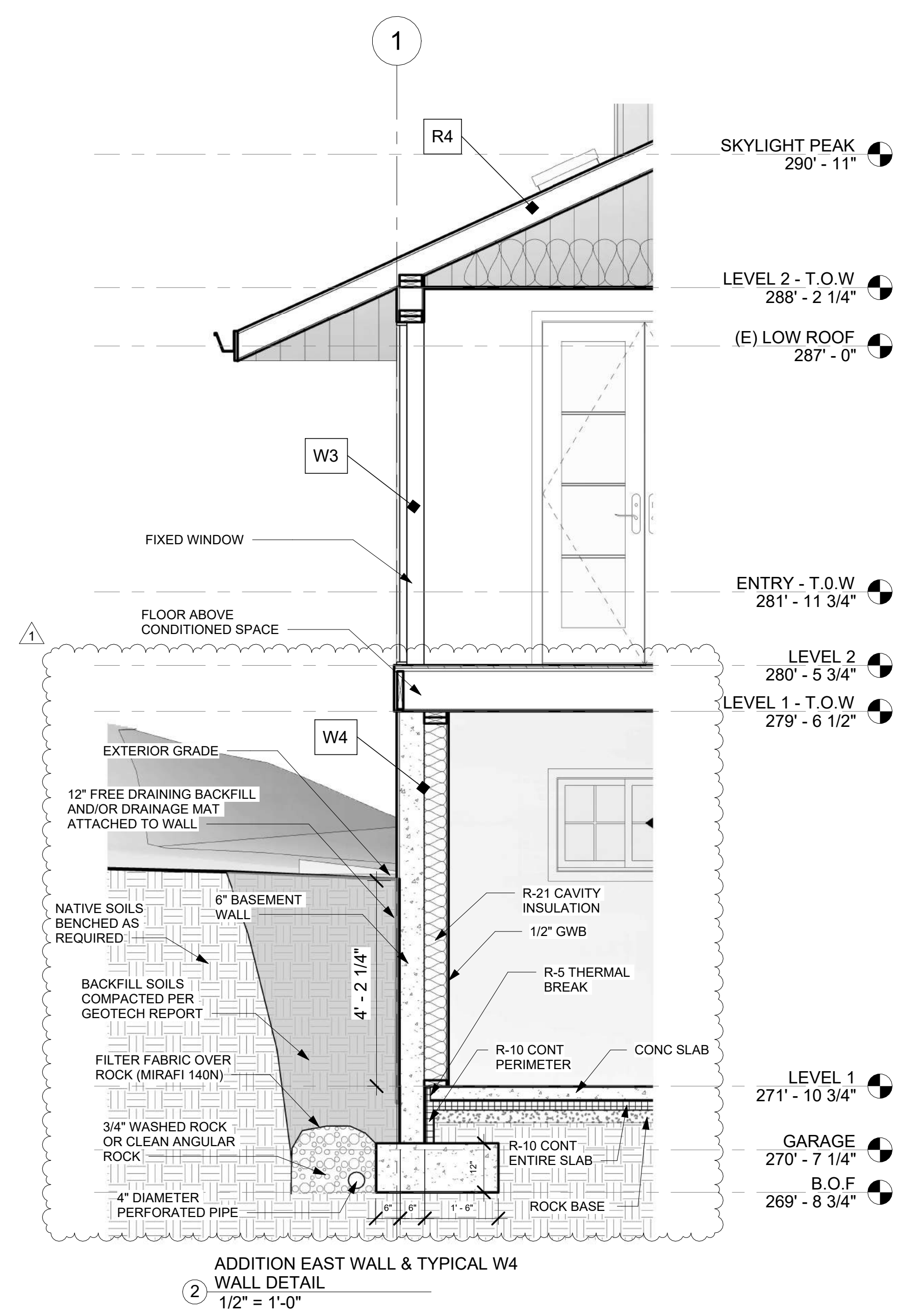
ADDITION SECTION & DETAILS

A303

Scale: As indicated

SECTION NOTES:

- REFER TO STRUCTURAL PLANS FOR STRUCTURAL SPECIFICATIONS.
- REFER TO PROPOSED FLOOR AND ROOF PLANS FOR WALL AND ROOF ASSEMBLIES.
- REFER TO ELEVATIONS FOR WINDOW AND EXTERIOR DOOR SCHEDULES.



WALL ASSEMBLIES

TYPE	RATING	ASSEMBLY
W1 - (E)	0-HR	-CEDAR 4.5" HORIZ. SIDING, WRB LAYER, SHEATHING -2X4 @ 16" O.C. -BATT INSULATION, 1/2" GWB
W2 - (E)	0-HR	-CEDAR 4.5" HORIZ. SIDING, WRB LAYER, SHEATHING -2X4 @ 16" O.C., 8" CONCRETE RETAINING WALL -BATT INSULATION, 1/2" GWB
W3	0-HR	-CEDAR 4.5" HORIZ. SIDING, WRB LAYER, SHEATHING PER STRUCT. -2X6 @ 16" O.C. -BATT INSULATION R-21 INT, 1/2" GWB
W4	0-HR	-CEDAR 4.5" HORIZ. SIDING, WRB LAYER, SHEATHING PER STRUCT. -2X6 @ 16" O.C., 6" CONCRETE RETAINING WALL -BATT INSULATION R-21 INT + R-5 THERMAL BREAK, 1/2" GWB

ROOF ASSEMBLIES

TYPE	RATING	ASSEMBLY
R1 - (E)	0-HR	-ASPHALT SHINGLES, UNDERLAYMENT, SHEATHING -SITE-CUT TRUSSES -BATT INSULATION, 1/2" GWB CEILING
R2	0-HR	-ASPHALT SHINGLES, UNDERLAYMENT, SHEATHING PER STRUCT. -2 X 12 RAFTERS PER STRUCT. -10-1/4" HIGH PERFORM. BATT INSULATION R-38, 1/2" GWB CEILING
R3	0-HR	-TPO, ICE AND WATER BARRIER, SHEATHING PER STRUCT. -2 X 12 RAFTERS PER STRUCT. -10-1/4" HP BATT INSULATION R-38, 1/2" GWB CEILING
R4	0-HR	-ASPHALT SHINGLES, UNDERLAYMENT, SHEATHING PER STRUCT. -PREFABRICATED TRUSSES PER STRUCT. -BATT INSULATION MIN R-49, 1/2" GWB CEILING

REVISION TABLE		
Revision #	Date	Revision Description
1	5/22/2024	Revision 1

HERNANDEZ RESIDENCE
7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

Project Status:

PERMIT DRAWINGS SET

Project Owner:

RODOLFO HERNANDEZ &
SHANNON MCINTYRE

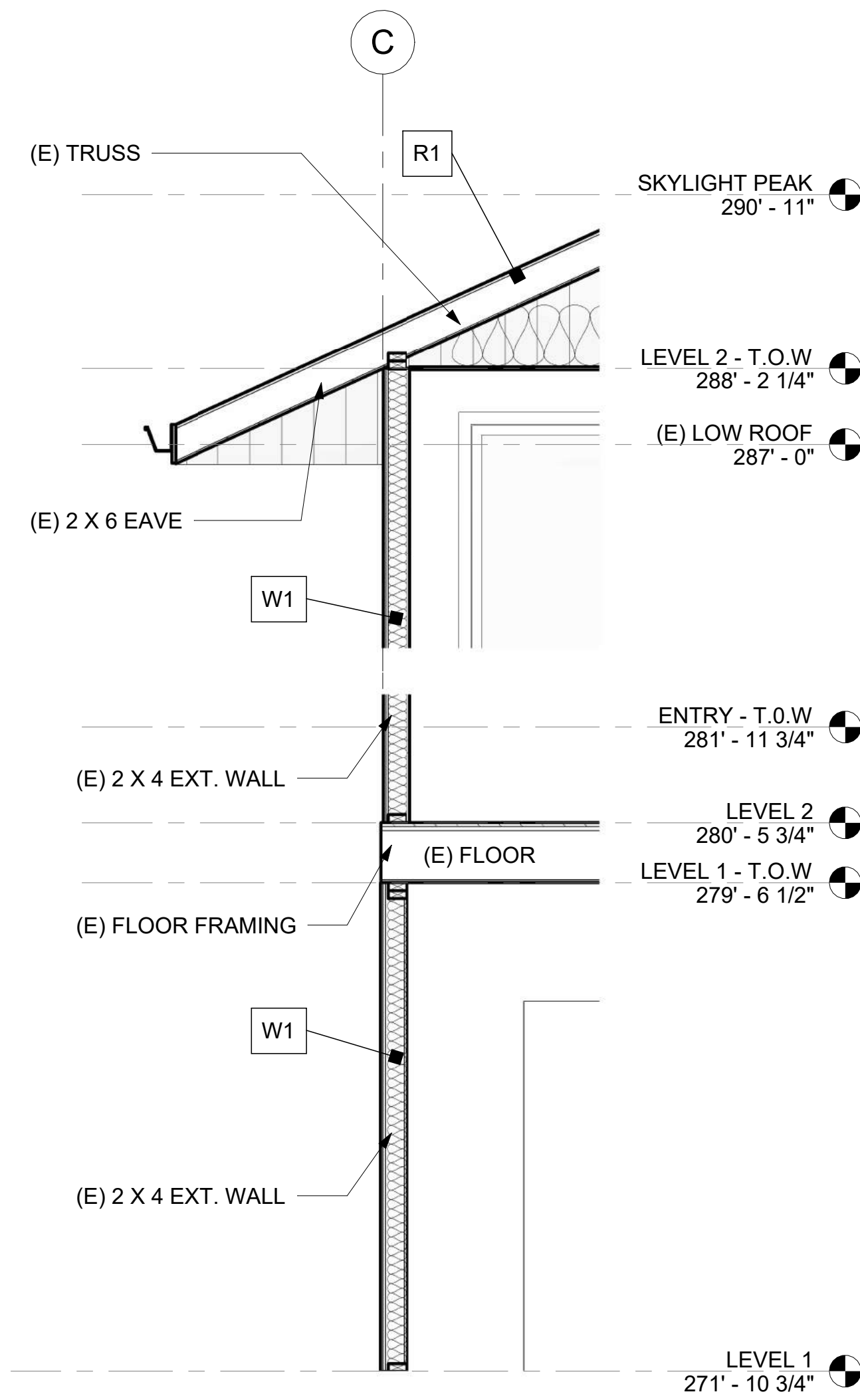
Record #: 2402-026

Date: 05/22/24

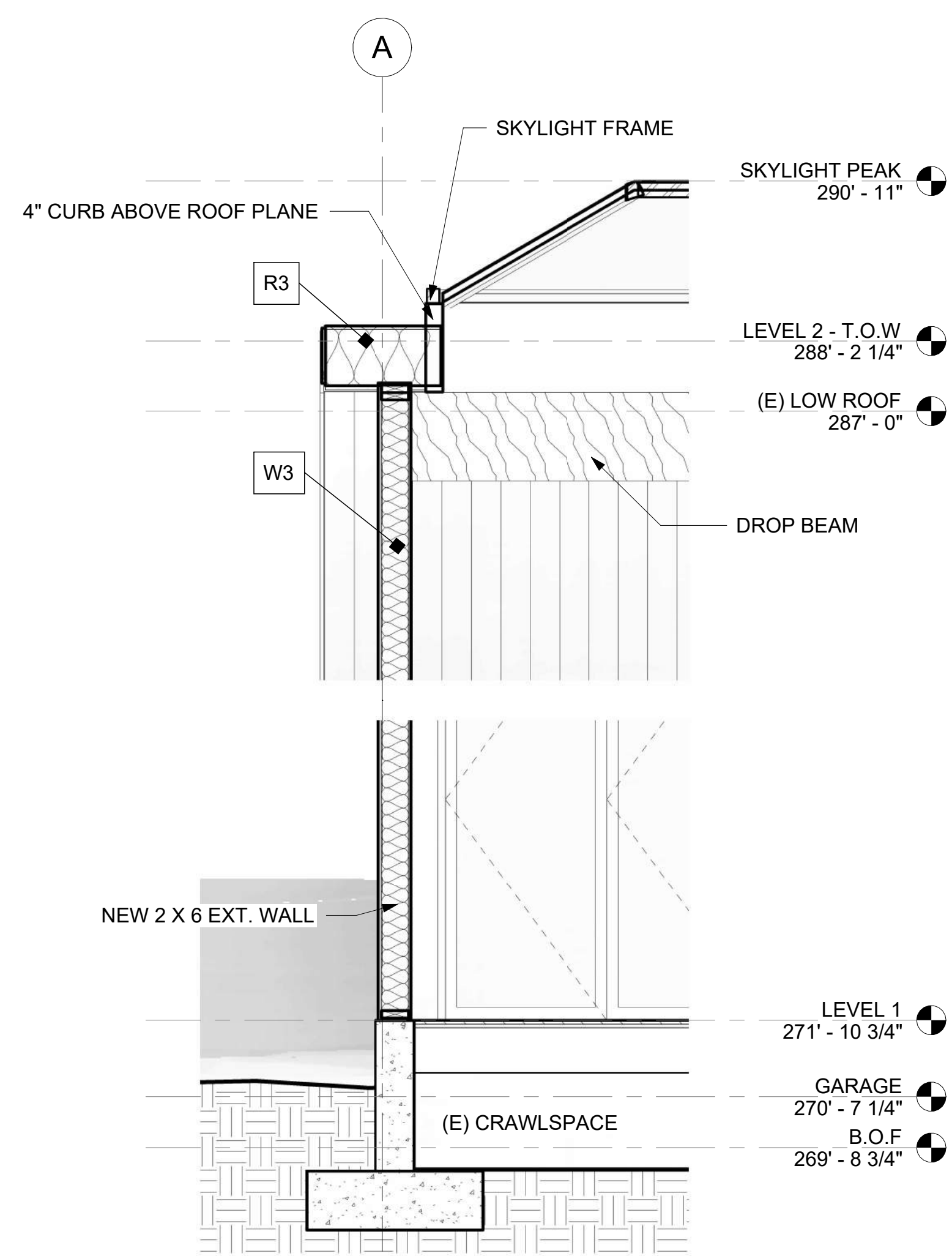
SECTION DETAILS

A304

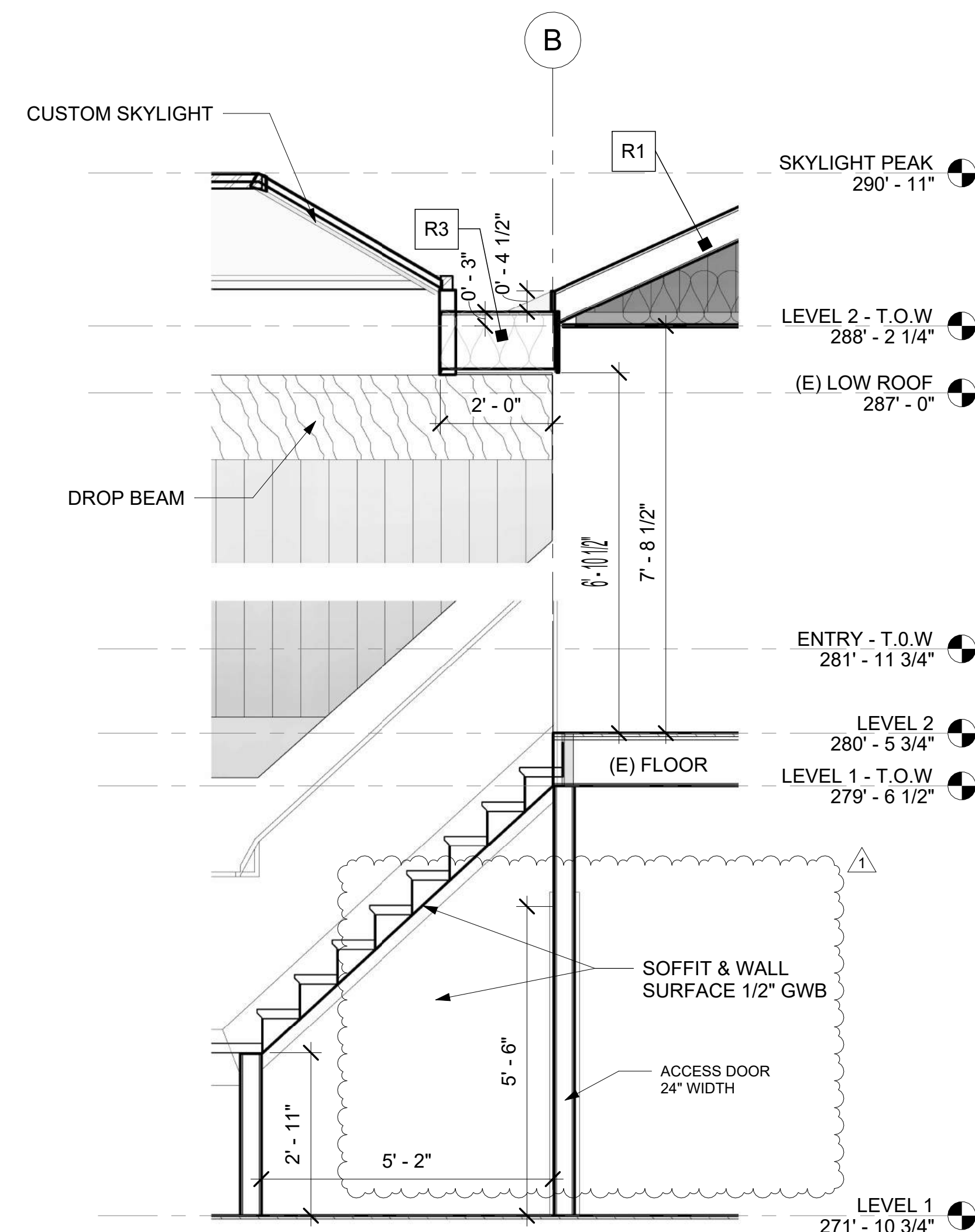
Scale: 1/2" = 1'-0"



① (E) TYP. EXT 2-STORY WALL
1/2" = 1'-0"



② NEW 2 X 6 WALL @ MAIN LEVEL
1/2" = 1'-0"



③ NEW ROOF & (E) ROOF INTERSECTION
1/2" = 1'-0"

WALL ASSEMBLIES		
TYPE	RATING	ASSEMBLY
W1 - (E)	0-HR	-CEDAR 4.5" HORIZ. SIDING, WRB LAYER, SHEATHING -2X4 @ 16" O.C. -BATT INSULATION, 1/2" GWB
W2 - (E)	0-HR	-CEDAR 4.5" HORIZ. SIDING, WRB LAYER, SHEATHING -2X4 @ 16" O.C., 8" CONCRETE RETAINING WALL -BATT INSULATION, 1/2" GWB
W3	0-HR	-CEDAR 4.5" HORIZ. SIDING, WRB LAYER, SHEATHING PER STRUCT. -2X6 @ 16" O.C. -BATT INSULATION R-21 INT, 1/2" GWB
W4	0-HR	-CEDAR 4.5" HORIZ. SIDING, WRB LAYER, SHEATHING PER STRUCT. -2X6 @ 16" O.C., 6" CONCRETE RETAINING WALL -BATT INSULATION R-21 INT + R-5 THERMAL BREAK, 1/2" GWB

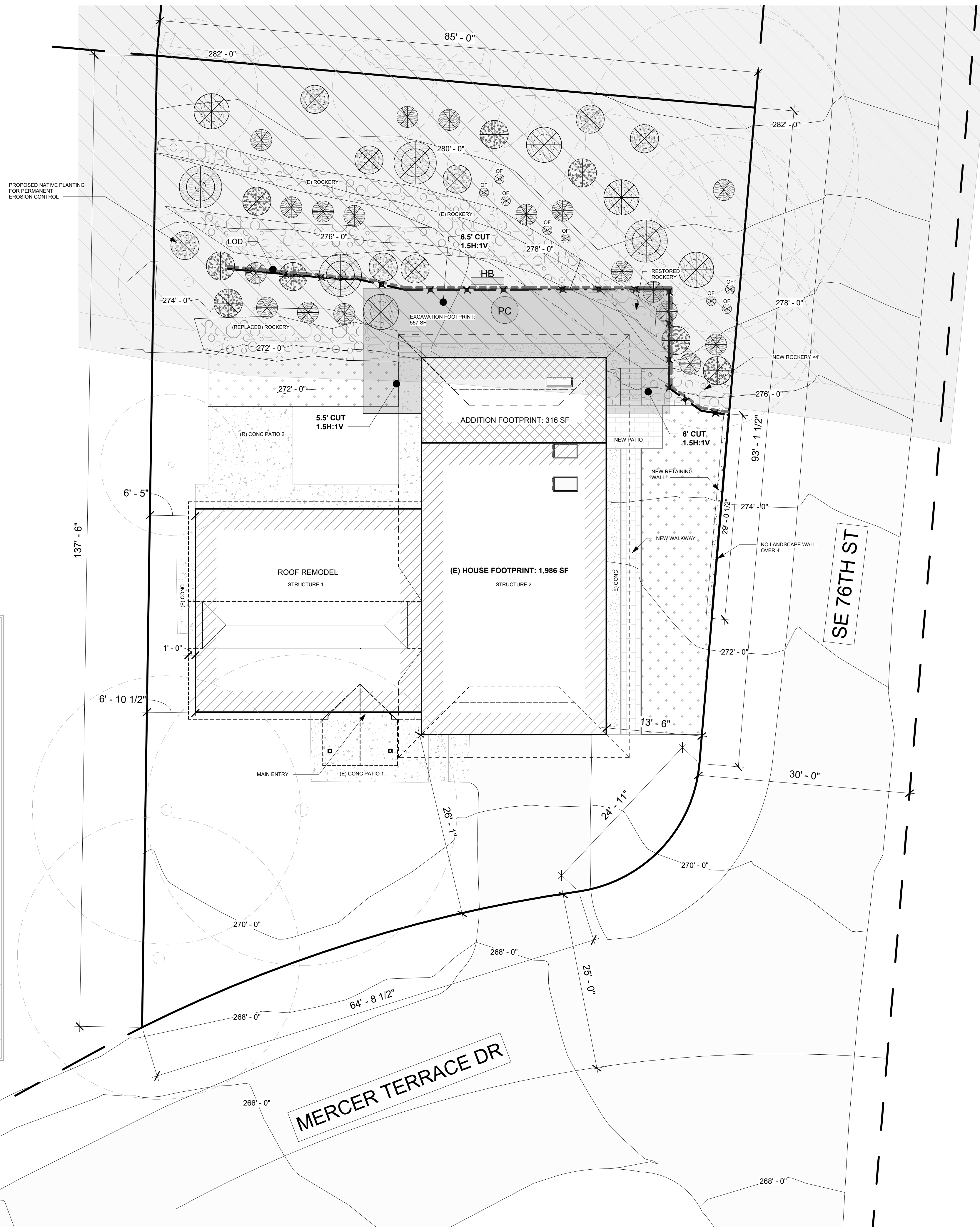
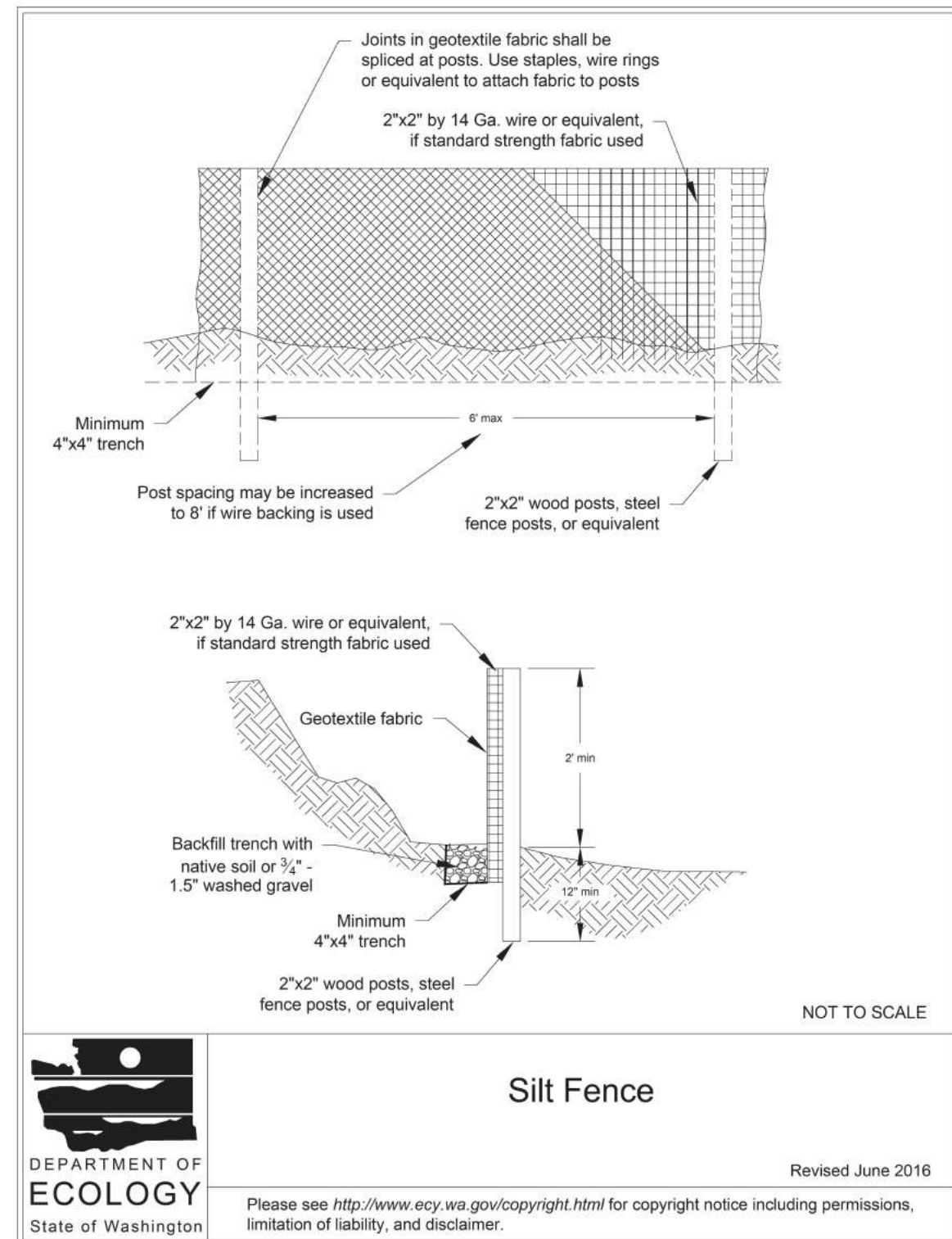
ROOF ASSEMBLIES		
TYPE	RATING	ASSEMBLY
R1 - (E)	0-HR	-ASPHALT SHINGLES, UNDERLAYMENT, SHEATHING -SITE-CUT TRUSSES -BATT INSULATION, 1/2" GWB CEILING
R2	0-HR	-ASPHALT SHINGLES, UNDERLAYMENT, SHEATHING PER STRUCT. -2 X 12 RAFTERS PER STRUCT. -10-1/4" HIGH PERFORM. BATT INSULATION R-38, 1/2" GWB CEILING
R3	0-HR	-TPO, ICE AND WATER BARRIER, SHEATHING PER STRUCT. -2 X 12 RAFTERS PER STRUCT. -10-1/4" HP BATT INSULATION R-38, 1/2" GWB CEILING
R4	0-HR	-ASPHALT SHINGLES, UNDERLAYMENT, SHEATHING PER STRUCT. -PREFABRICATED TRUSSES PER STRUCT. -BATT INSULATION MIN R-49, 1/2" GWB CEILING

TYP VENTED ROOF ASSEMBLY:
- ROOFING PER ROOF ASSEMBLY TYPE
- 30 LB BUILDING PAPER
- SHEATHING PER STRUCTURAL
- TRUSSES PER STRUCTURAL
- MIN 1" VENT SPACE (2" IF POSSIBLE),
BAFFLES WHERE NEEDED
- R49 BATT OR CELLULOSE INSULATION
- KRAFT FACE CLASS 2 VAPOR RETARDER
- 1/2" GWB

TYP UNVENTED ROOF ASSEMBLY:
- ROOFING PER ROOF ASSEMBLY TYPE
- 30 LB BUILDING PAPER
- SHEATHING PER STRUCTURAL
- RAFTERS PER STRUCTURAL
- R38 INSULATION/ CLASS II VAPOR RETARDER
APPLIED DIRECTLY TO UNDERSIDE OF
STRUCTURAL SHEATHING
- 1/2" GWB W/ CLASS 3 PVA PRIMER

CRITICAL AREA LEGEND

	EROSION
	POTENTIAL SLIDE
	EXISTING FOOTPRINT
	ADDITION FOOTPRINT
	EXCAVATION FOOTPRINT >3'
	ROCKERY <4'
	GRAVEL / DRAIN ROCK
	NEW PLANTING AREA



PLAN NOTES:

- TEMPORARY EROSION CONTROL AND GEO HAZARD MITIGATION STRATEGIES PER GEOTECH REPORT DATE 08/22/2023
- TYPICAL TEMPORARY EROSION CONTROL MEASURES TO BE IN PLACE DURING CONSTRUCTION AND ALL AREAS ARE RESURFACED WITH MULCHES/BARK/COMPOST AND PLANTINGS OR OTHER LANDSCAPING TO REDUCE THE RISK OF THESE HAZARDS.
- TREES, SHRUBS AND OTHER VEGETATION TO BE REMOVED PRIOR TO STRIPPING OF SURFICIAL ORGANIC-RICH SOIL AND FILL. BASED ON OBSERVATIONS FROM THE SITE INVESTIGATION PROGRAM, IT IS ANTICIPATED THAT THE STRIPPING DEPTH WILL BE 6 TO 18 INCHES. DEEPER EXCAVATIONS WILL BE NECESSARY IN AREAS OF LOOSE SOILS AND FILL, IF AND WHERE PRESENT.
- SOME OF THESE SOILS MAY ONLY BE SUITABLE FOR USE AS FILL DURING THE SUMMER MONTHS, AS THEY WILL BE ABOVE THE OPTIMUM MOISTURE LEVELS IN THEIR CURRENT STATE. THESE SOILS ARE VARIABLY MOISTURE SENSITIVE AND MAY DEGRADE DURING PERIODS OF WET WEATHER AND UNDER EQUIPMENT TRAFFIC.
- TEMPORARY EXCAVATIONS DEEPER THAN 3 FEET SHOULD BE SLOPED NO STEEPER THAN 1.5H:1V (HORIZONTAL:VERTICAL) IN LOOSE NATIVE SOILS AND FILL AND 1H:1V IN MEDIUM DENSE NATIVE SOILS. IF AN EXCAVATION IS SUBJECT TO HEAVY VIBRATION OR SURCHARGE LOADS, WE RECOMMEND THAT THE EXCAVATIONS BE SLOPED NO STEEPER THAN 2H:1V, WHERE ROOM PERMIT
- TEMPORARY CUTS SHOULD BE IN ACCORDANCE WITH THE WASHINGTON ADMINISTRATIVE CODE (WAC) PART N, EXCAVATION, TRENCHING, AND SHORING.
- ADDITIONAL PERIMETER EROSION AND SEDIMENT CONTROL FEATURES MAY BE REQUIRED TO REDUCE THE POSSIBILITY OF SEDIMENT ENTERING THE SURFACE WATER. THIS MAY INCLUDE ADDITIONAL SILT FENCES, SILT FENCES WITH A HIGHER APPARENT OPENING SIZE (AOS), CONSTRUCTION OF A BERM, OR OTHER FILTRATION SYSTEMS
- ANY RUNOFF GENERATED BY DEWATERING DISCHARGE SHOULD BE TREATED THROUGH CONSTRUCTION OF A SEDIMENT TRAP IF THERE IS SUFFICIENT SPACE. IF SPACE IS LIMITED OTHER FILTRATION METHODS WILL NEED TO BE INCORPORATED.

EROSION CONTROL LEGEND:

	LIMIT OF DISTURBANCE (LOD)
	TREE PROTECTION FENCING W/ SILT FENCE
	USE AS NEEDED HAY BALES
	USE AS NEEDED PLASTIC COVERING
	USE AS NEEDED TEMPORARY BERM

PLANT SYMBOLS:

SYMBOL	SPECIES NAME:	QUANTITY:	SPACING:
	WESTERN OAK FERN (16")	(8)	AS SHOWN
	WESTERN SWORD-FERN (3')	(18)	AS SHOWN
	LADY FERN (5')	(5)	AS SHOWN
	EVERGREEN HUCKLEBERRY (4')	(8)	AS SHOWN
	SALAL (4')	(8)	AS SHOWN
	THIMBLEBERRY (6')	(4)	AS SHOWN

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BUILD STUFF LLC
206-771-5014
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REVISION TABLE	
Revision #	Revision Description

HERNANDEZ RESIDENCE
7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

Project Status:

PERMIT DRAWINGS SET

Project Owner:

RODOLFO HERNANDEZ & SHANNON MCINTYRE

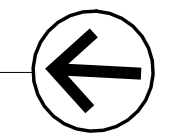
Record #: 2402-026

Date: 05/22/24

CRITICAL AREA & EROSION CONTROL

L101

Scale: As indicated



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SHANNON MCINTYRE

Record #: 2402-026

Date: 05/22/24

**TREE RETENTION &
SITE DEMO PLAN**

L102

Scale: 1/8" = 1'-0"

PLAN NOTES:

- TREE RETENTION PLAN PER ARBORIST REPORT DATED 11/10/2023 REFER TO REPORT FOR INFORMATION ON TREE PROTECTION PLAN AND SPECIFICATIONS. OUTLINE OF TREES SHOWN IN PLAN REPRESENTS RECOMMENDED LIMIT OF DISTURBANCE SHOWN ON TREE INVENTORY TABLE PROVIDED IN ARBORIST REPORT. INTERIOR CRITICAL ROOT ZONE DRAWN FOR TREES TO BE RETAINED AND MONITORED DURING CONSTRUCTION.
- PER GEOTECH REPORT DATED 08/22/23 - TEMPORARY EXCAVATIONS DEEPER THAN 3 FEET SHOULD BE SLOPED NO STEEPER THAN 1.5H:1V (HORIZONTAL:VERTICAL) IN LOOSE NATIVE SOILS AND FILL AND 1H:1V IN MEDIUM DENSE NATIVE SOILS. IF AN EXCAVATION IS SUBJECT TO HEAVY VIBRATION OR SURCHARGE LOADS, WE RECOMMEND THAT THE EXCAVATIONS BE SLOPED NO STEEPER THAN 2H:1V, WHERE ROOM PERMIT
- TEMPORARY CUTS SHOULD BE IN ACCORDANCE WITH THE WASHINGTON ADMINISTRATIVE CODE (WAC) PART N.
- EXCAVATION CUT DEPTHS ARE BASED ON ELEVATION POINTS SHOWN IN THE ABE DIAGRAM ON SHEET A100.1 AND DEPTH TO THE BOTTOM OF FOUNDATION FOOTINGS PER STRUCTURAL PLANS.

Client: McIntyre
Assignment: Tree Protection Plan
TABLE OF TREES
7520 Mercer Terrace Drive
Inventory Date: 10/11/2023
Report Date: 11/10/2023

Tree Tag	Common Name	Botanical Name	DSH*	Dripline**	Health	Recommended Limits of Disturbance (RLOD) (feet)
1	Sawara cypress	<i>Chamaecyparis pisifera 'Filifera'</i>	13	13	Good	tree within footprint of addition, REMOVE
2	Douglas-fir	<i>Pseudotsuga menziesii</i>	20	20	Good	encroachment into CRZ exceeds allowable threshold, REMOVE
3	Western reccedar	<i>Thuja plicata</i>	9	6	Poor	encroachment into CRZ exceeds allowable threshold, REMOVE
4	Bigleaf maple	<i>Acer macrophyllum</i>	9	18	Fair	18 on sides N, E, and S; 7 on W side
5	English hawthorn	<i>Crataegus laevigata</i>	9.5	13	Good	10
6	Western reccedar	<i>Thuja plicata</i>	16	9	Good	14
7	Bigleaf maple	<i>Acer macrophyllum</i>	16	10	Fair	10
8	Western reccedar	<i>Thuja plicata</i>	15	8	Good	15
9	Bigleaf maple	<i>Acer macrophyllum</i>	26	15	Fair	26
10	Western reccedar	<i>Thuja plicata</i>	19	6	Good	19
11	Douglas-fir	<i>Pseudotsuga menziesii</i>	17	20	Good	20 on sides E, S and W; 8 on NW side
12	Douglas-fir	<i>Pseudotsuga menziesii</i>	18	12	Good	12
13	Noble fir	<i>Abies procera</i>	16	12	Good	16
14	Sawara cypress	<i>Chamaecyparis pisifera 'Filifera'</i>	10	8	Good	10
15	Blue Atlas Cedar	<i>Cedrus atlantica 'Glauca'</i>	22	25	Good	22
16	Austrian pine	<i>Pinus nigra</i>	19	14	Good	19
17	Deodar cedar	<i>Cedrus deodara</i>	20	18	Good	20

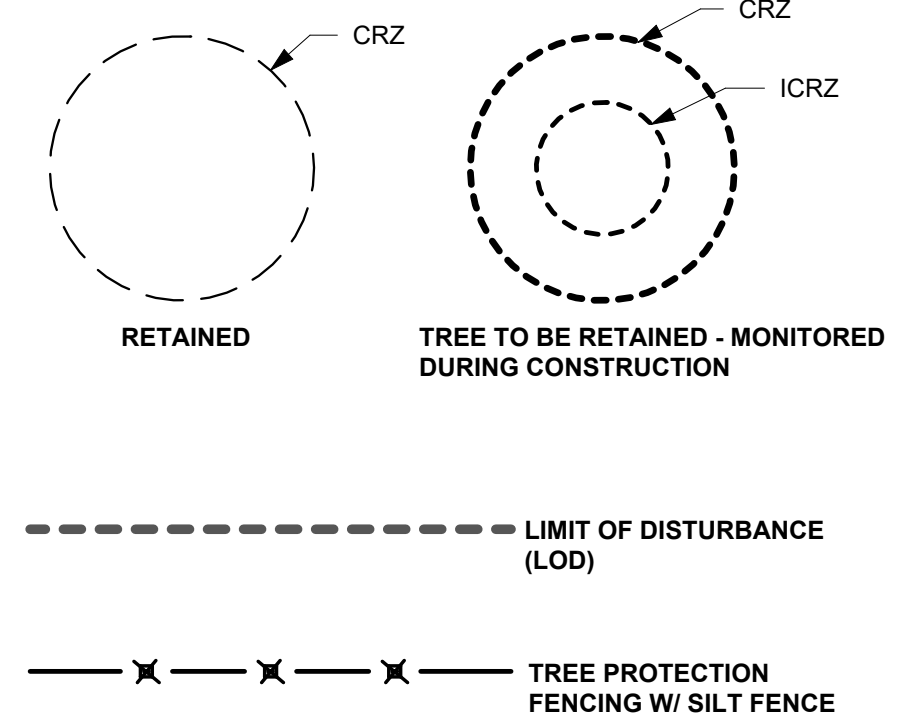
*DSH is Diameter at Standard Height (inches)

**Dripline was measured from the center of the trunk to the outermost limits of the canopy on the side of construction (feet).

TREE TRUNK SYMBOLS

- #15 EXISTING TREE TO BE RETAINED <24"
- #9 EXISTING TREE TO BE RETAINED >24"
- #2 EXISTING TREE TO BE REMOVED

TREE OUTLINE SYMBOLS



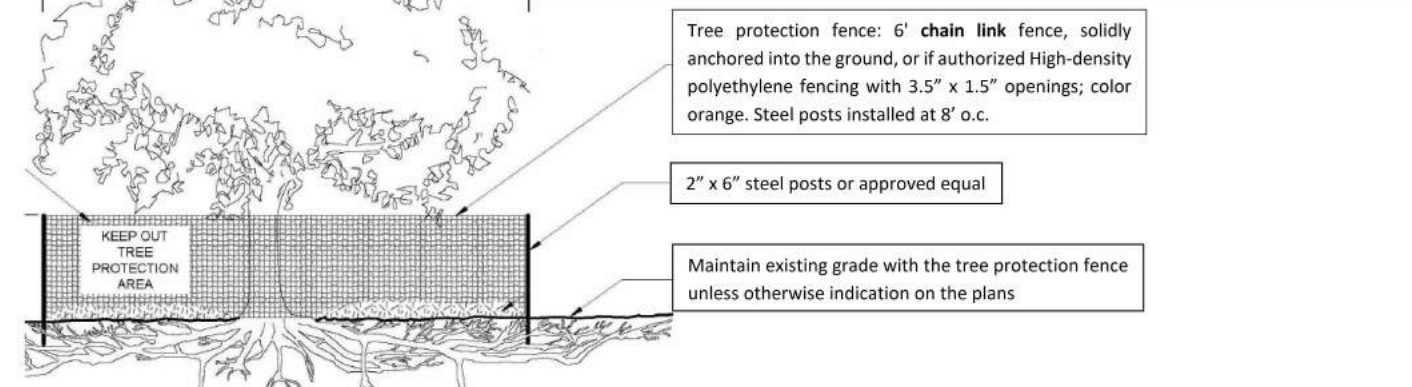
TREE PROTECTION AREA (TPZ)

KEEP OUT!

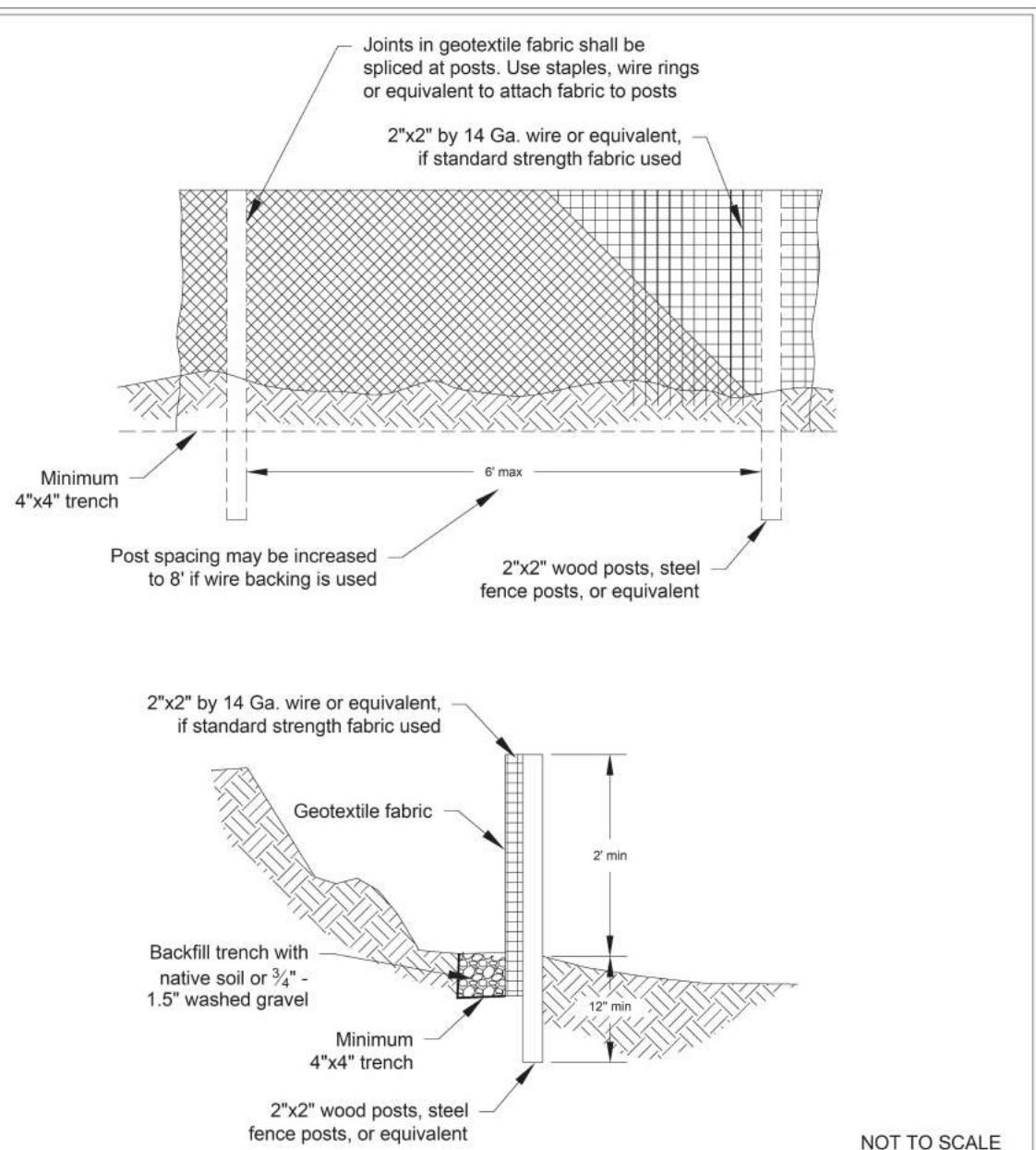
DO NOT REMOVE OR ADJUST THE APPROVED LOCATION OF THIS TREE PROTECTION AREA

Trees enclosed by this fence are protected and are subject to the conditions of the tree permit. Violation of tree conditions may lead to:

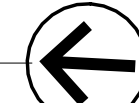
- Correction Notices or Stop Work Orders until compliance is achieved
- RE Inspection Fees/financial penalties
- Arborist reports recommending mitigation

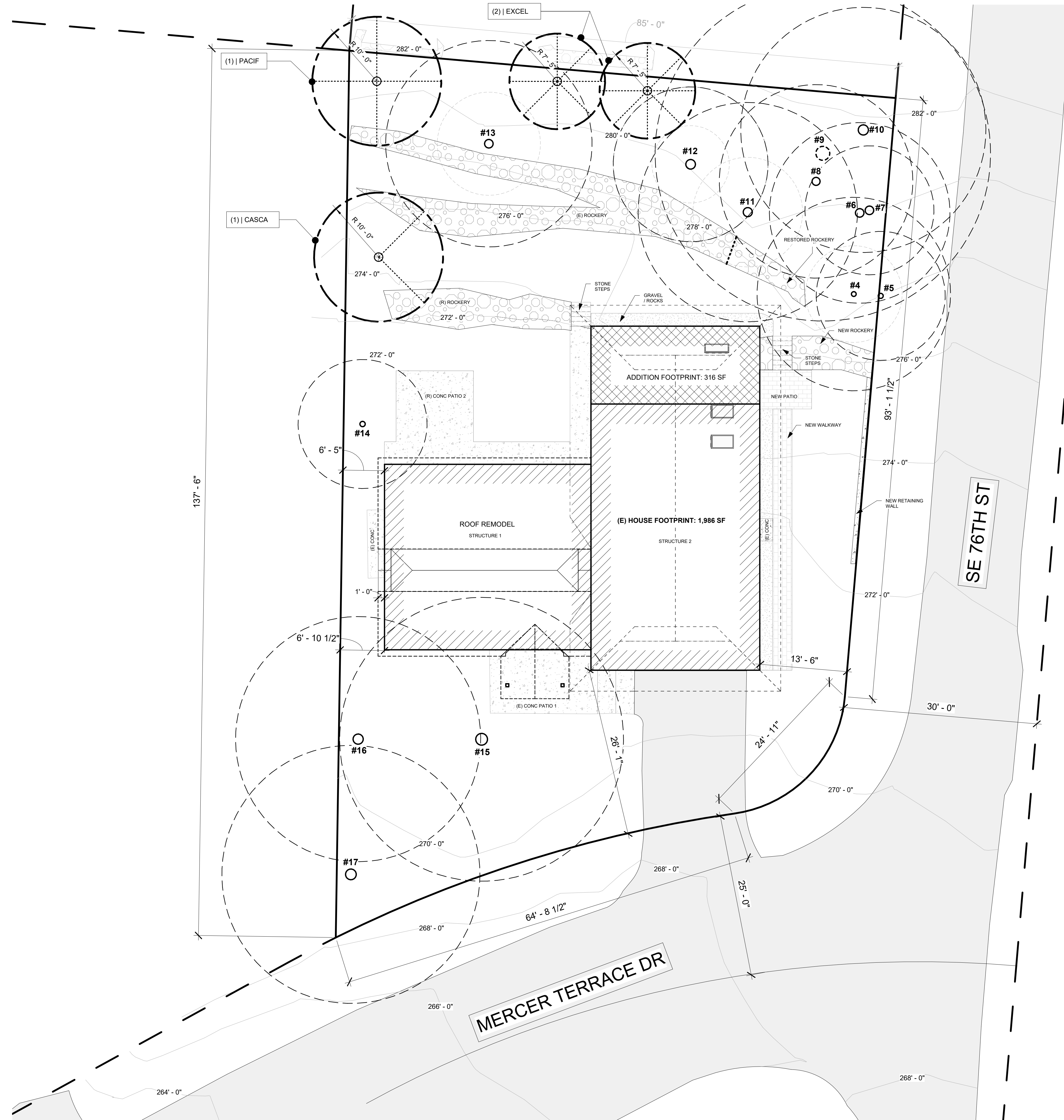


Any Work in the protected area must be with the permission of the City Arborist john.kennedy@mercergov.org



Silt Fence
Revised June 2016
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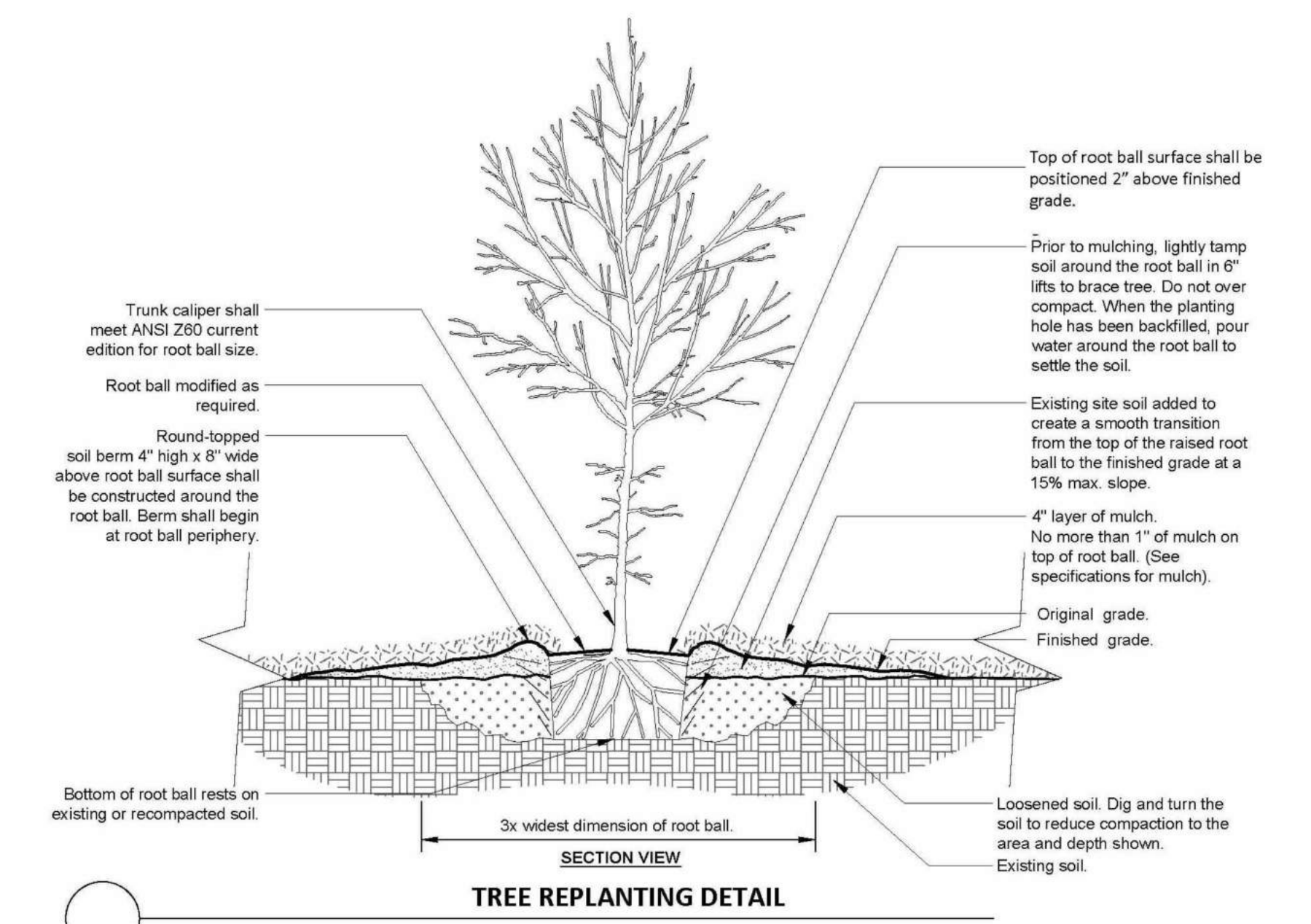
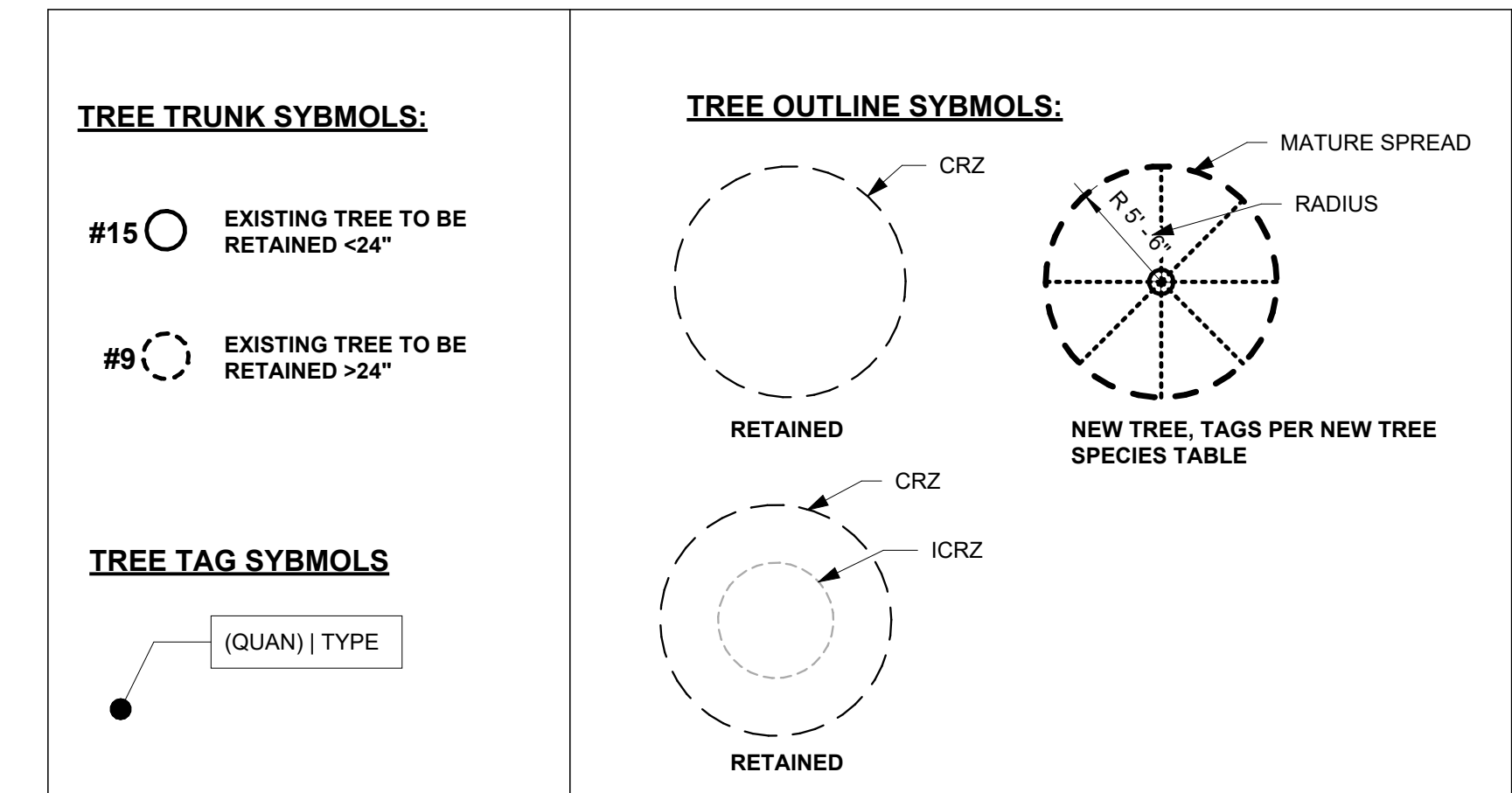


PLAN NOTES:

1. TREE RETENTION PLAN PER ARBORIST REPORT DATED 11/10/2023 REFER TO REPORT FOR INFORMATION ON TREE PROTECTION PLAN AND SPECIFICATIONS. OUTLINE OF TREES SHOWN IN PLAN REPRESENTS RECOMMENDED LIMIT OF DISTURBANCE SHOWN ON TREE INVENTORY TABLE PROVIDED IN ARBORIST REPORT. INTERIOR CRITICAL ROOT ZONE DRAWN FOR TREES TO BE RETAINED AND MONITORED DURING CONSTRUCTION.
2. PER GEOTECH REPORT DATED 08/22/23 - TEMPORARY EXCAVATIONS DEEPER THAN 3 FEET SHOULD BE SLOPED NO STEEPER THAN 1.5H:1V (HORIZONTAL:VERTICAL) IN LOOSE NATIVE SOILS AND FILL AND 1H:1V IN MEDIUM DENSE NATIVE SOILS. IF AN EXCAVATION IS SUBJECT TO HEAVY VIBRATION OR SURCHARGE LOADS, WE RECOMMEND THAT THE EXCAVATIONS BE SLOPED NO STEEPER THAN 2H:1V, WHERE ROOM PERMIT
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4. EXCAVATION CUT DEPTHS ARE BASED ON ELEVATION POINTS SHOWN IN THE ABE DIAGRAM ON SHEET A100.1 AND DEPTH TO THE BOTTOM OF FOUNDATION FOOTINGS PER STRUCTURAL PLANS.

NEW TREES: SPECIES TABLE

QUAN.	SYMBOL	SPECIES NAME	MATURE SPREAD
1	PACIF	PACIFIC YEWE, TAXUS BREVIFOLIA	20 FEET
2	EXCEL	EXCELSA WESTERN RED CEDAR	15 FEET
1	CASCA	CASCARA RHAMNUS PURSHIANA	20 FEET



1 TREE REPLACEMENT PLAN
1/8" = 1'-0"

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BUILD STUFF LLC
206-771-5014
diego@buildstuffstudios.com

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7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

Project Status:
PERMIT DRAWINGS SET

Project Owner:
RODOLFO HERNANDEZ &
SHANNON MCINTYRE

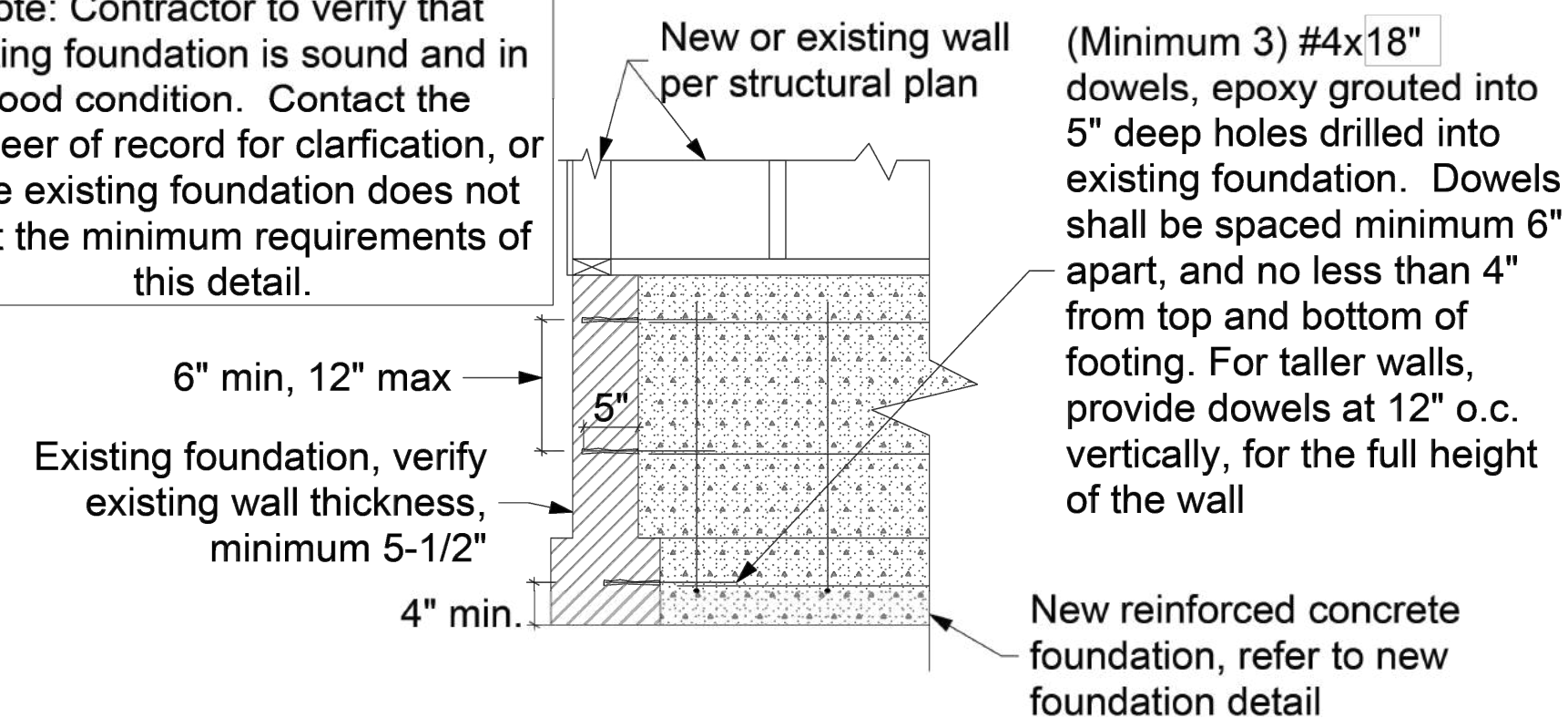
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TREE REPLACEMENT PLAN

L103

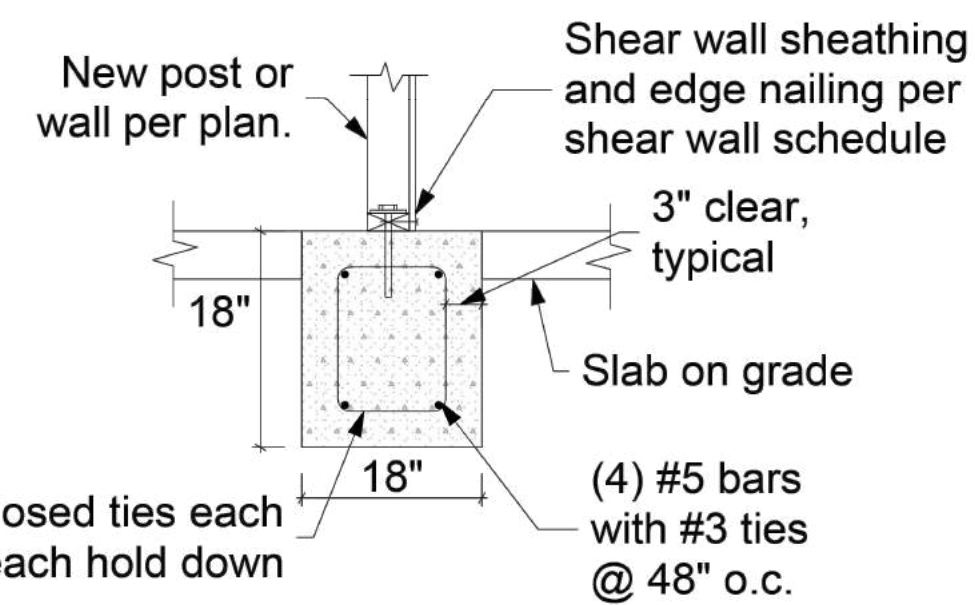
Scale: 1/8" = 1'-0"

Note: Contractor to verify that existing foundation is sound and in good condition. Contact the engineer of record for clarification, or if the existing foundation does not meet the minimum requirements of this detail.



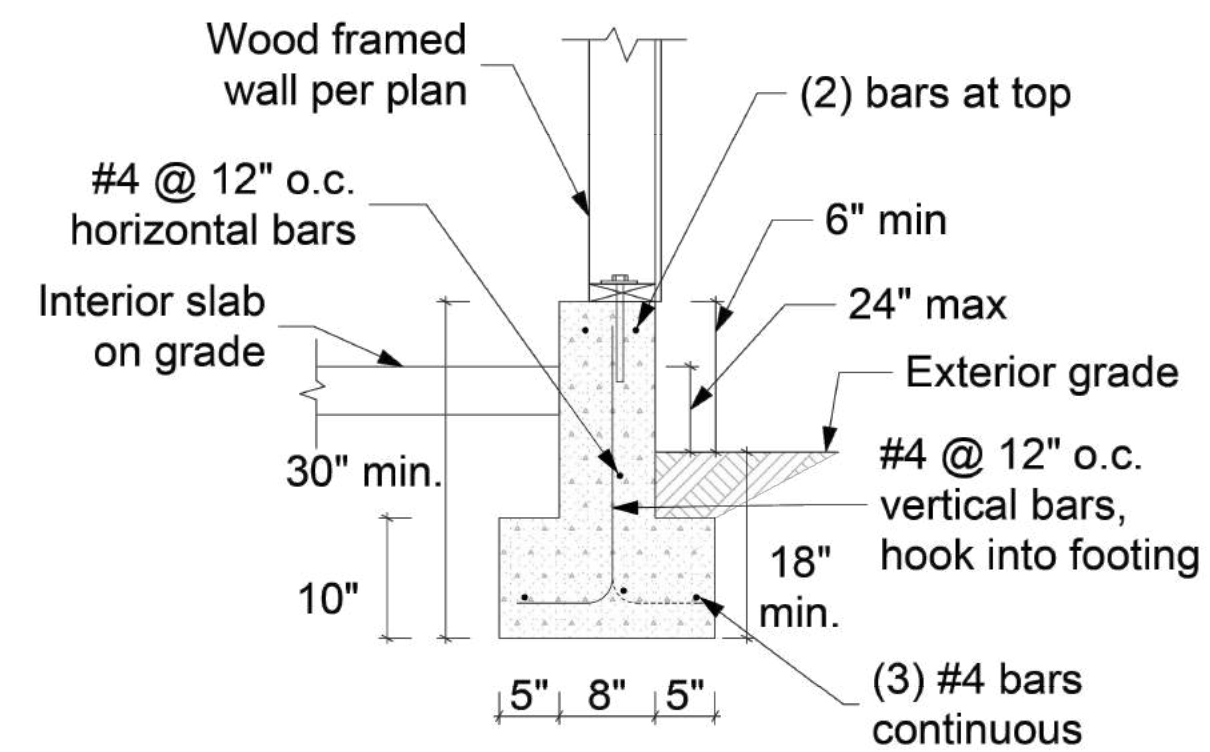
NF New Foundation to Existing Detail

Scale: 3/4" = 1'-0"



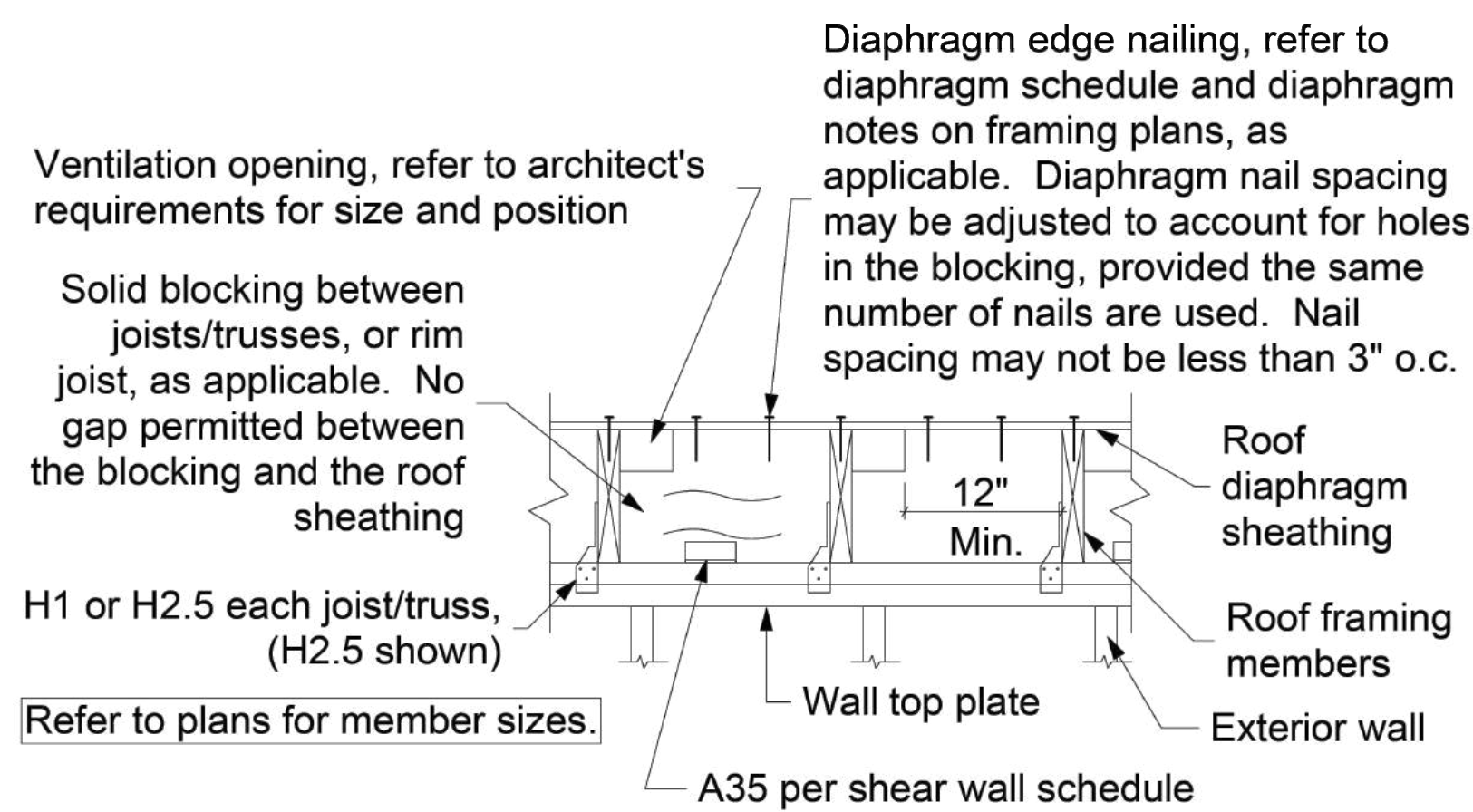
F1 Interior Footing Detail

Scale: 3/4" = 1'-0"



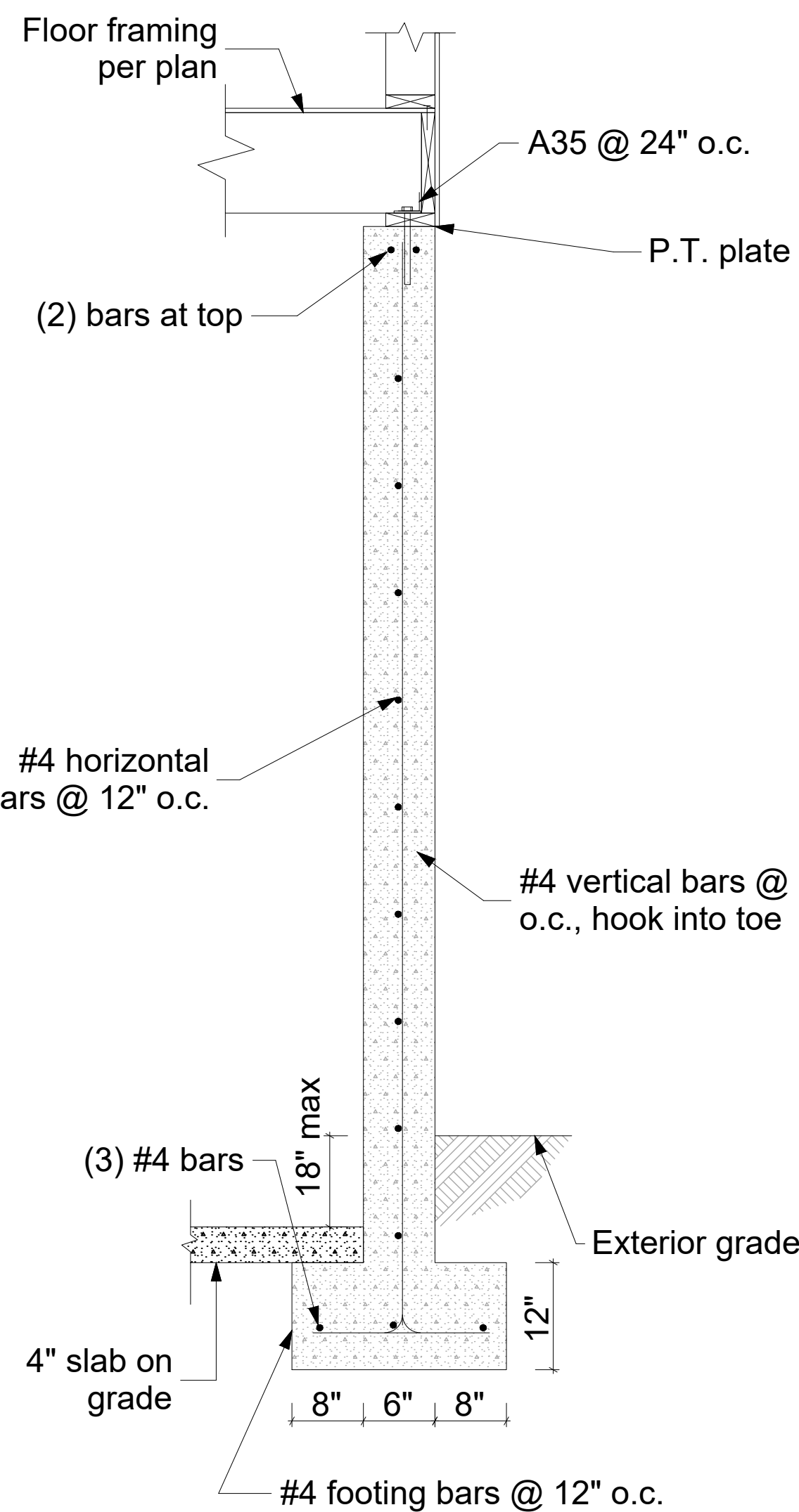
F3 Exterior Footing With Slab Detail

Scale: 3/4" = 1'-0"



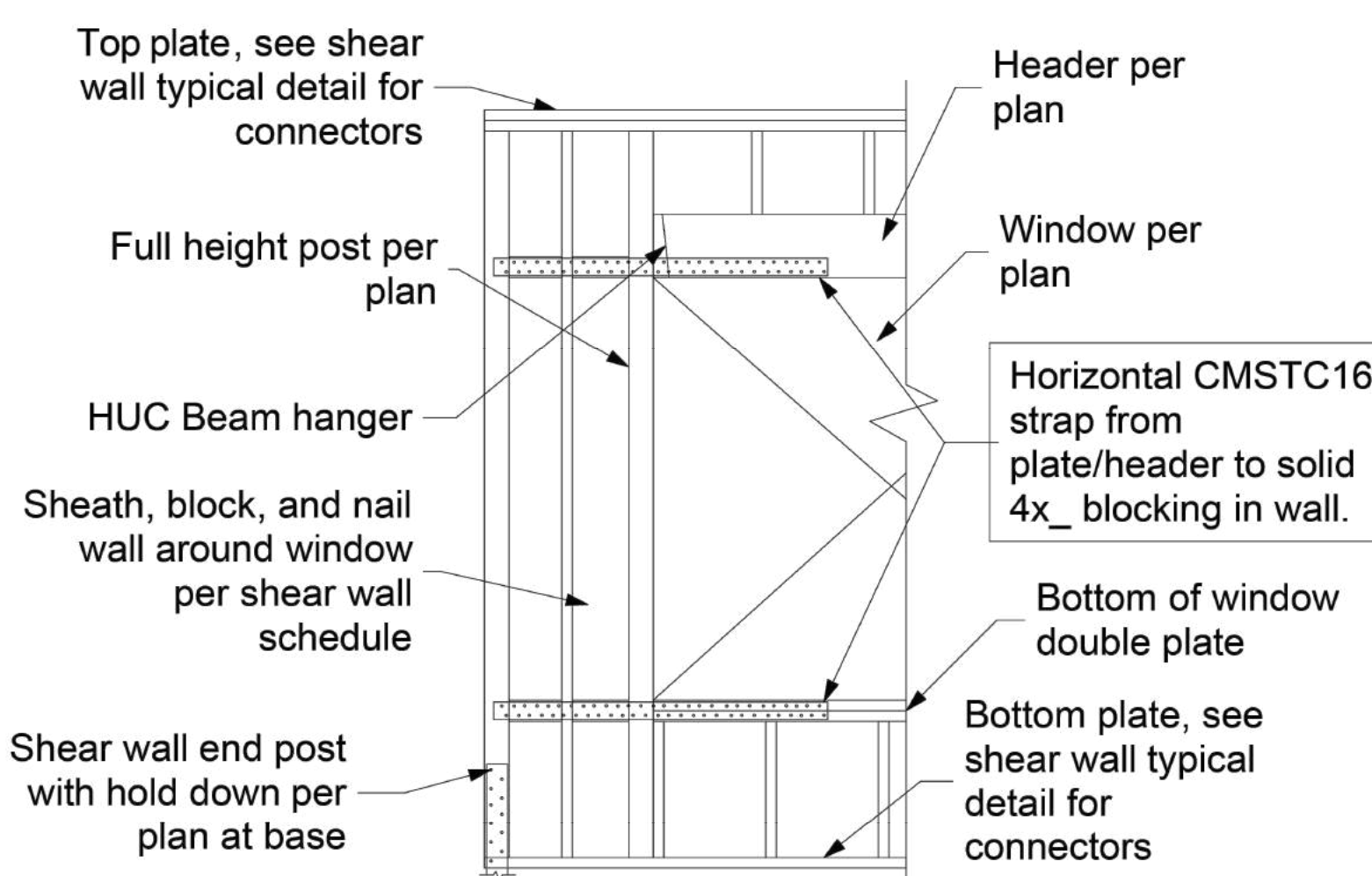
R1 Roof Ventilation Typical Detail

Scale: 1" = 1'-0"



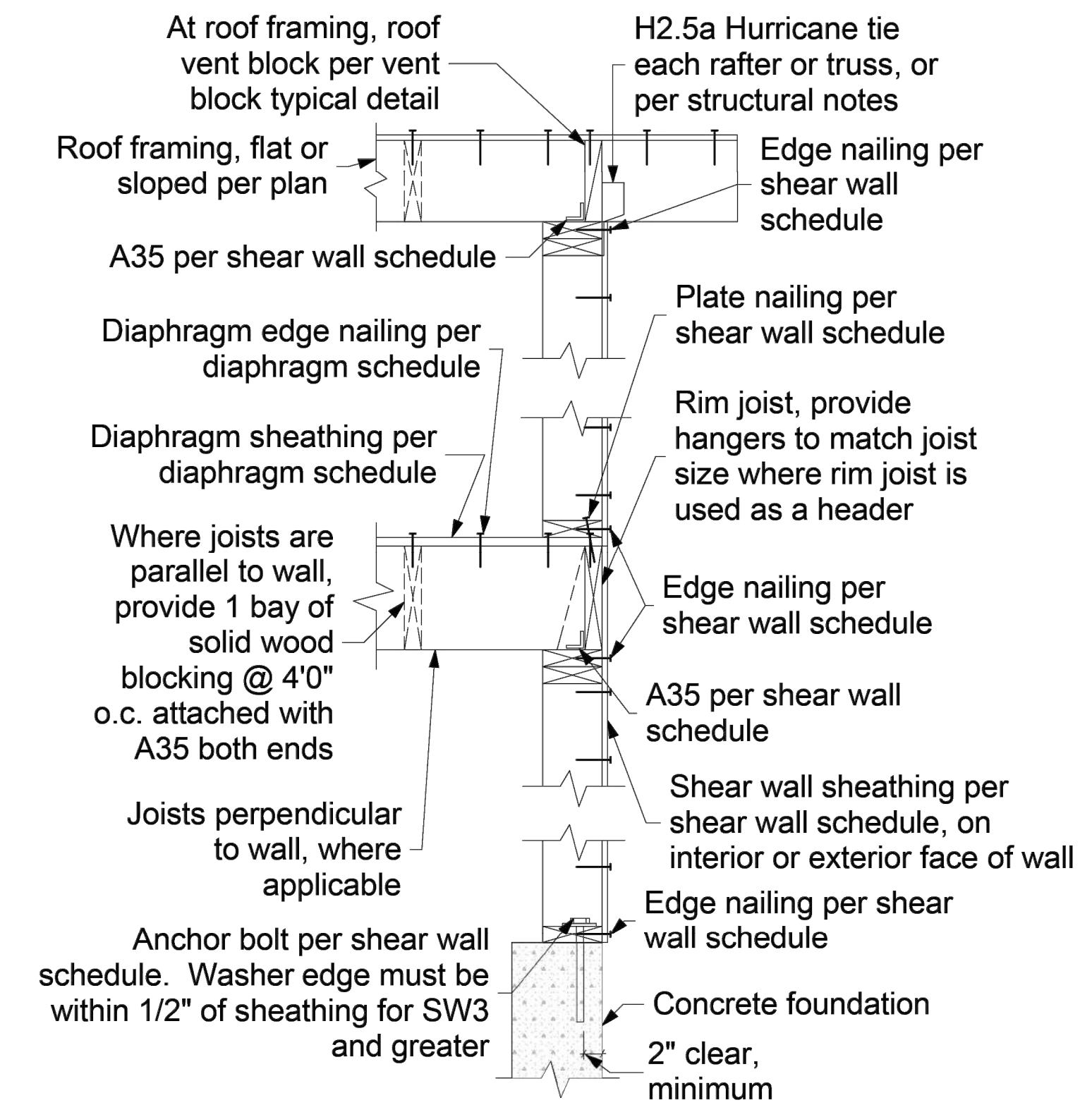
F2 Concrete Basement Wall Detail

Scale: 1/2" = 1'-0"



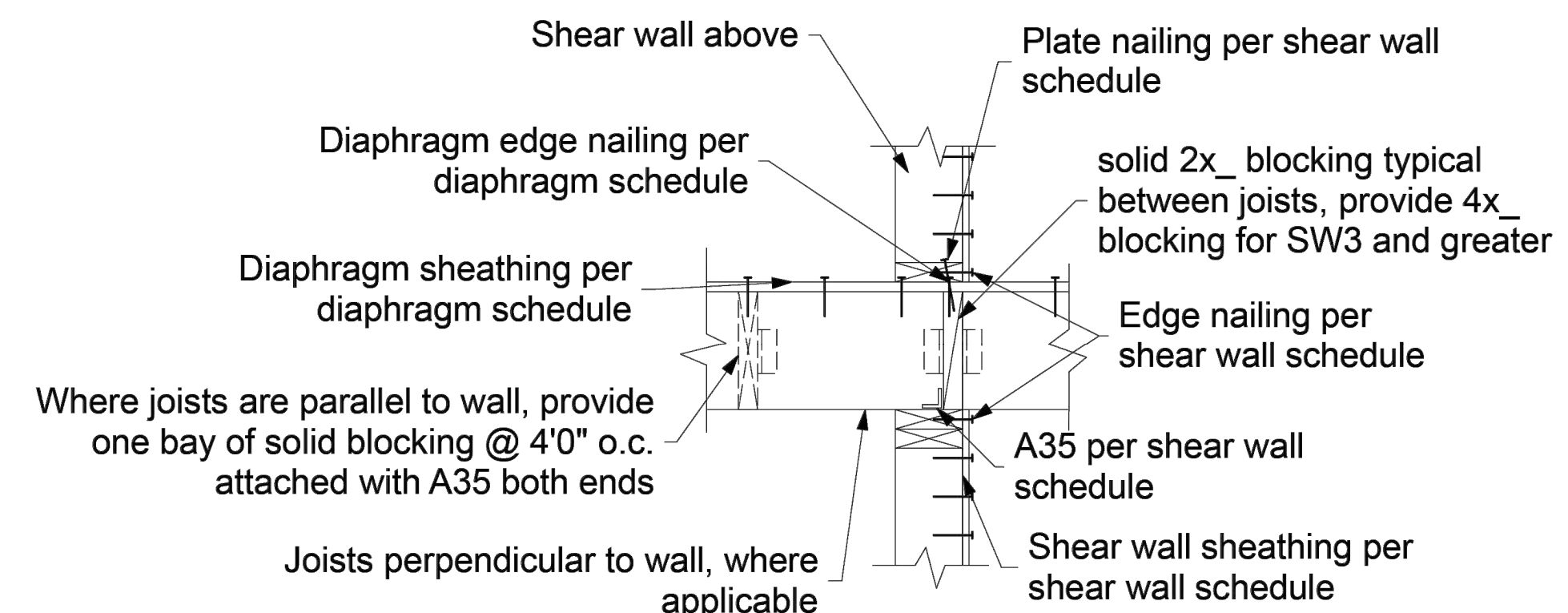
SW1 Shear Wall Around Opening Detail

Scale: 1/2" = 1'-0"



SW2 Exterior Shear Wall Typical Detail

Scale: 1" = 1'-0"



SW3 Interior Shear Wall Typical Detail

Scale: 1" = 1'-0"



Consulting Structural Engineering Services
6311 17th Ave NE, Seattle, WA 98115
Phone: 206-527-1288
Email: john@cse-engineering.com

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7520 MERCER TERRACE DR
MERCER ISLAND WA, 98040

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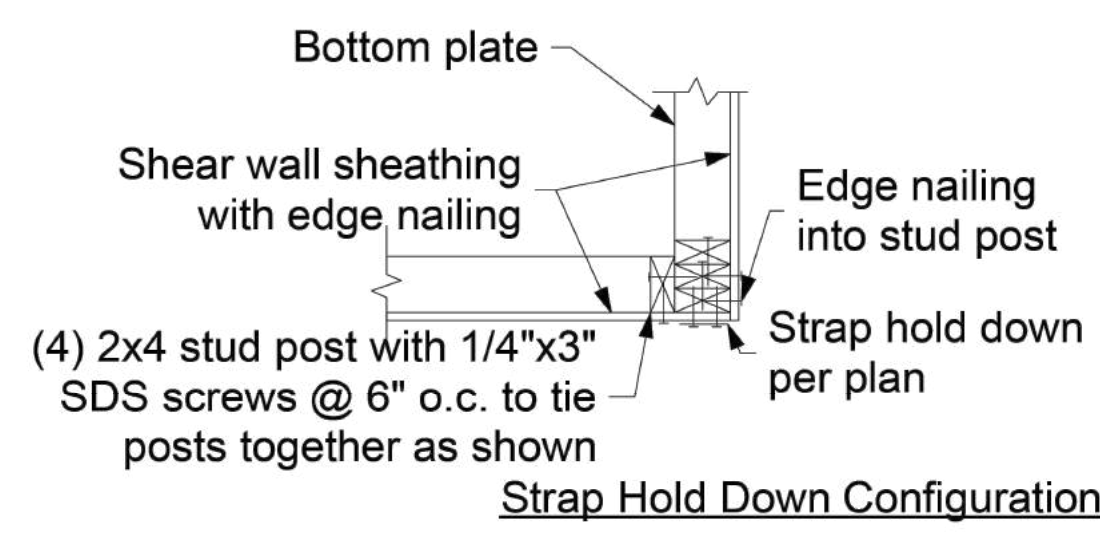
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Date:

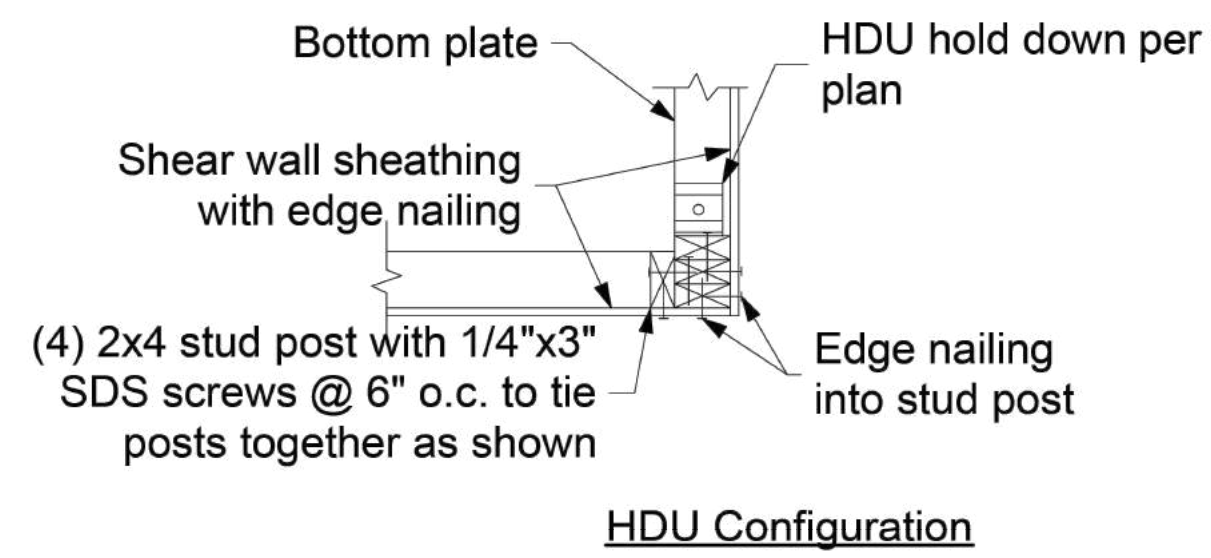
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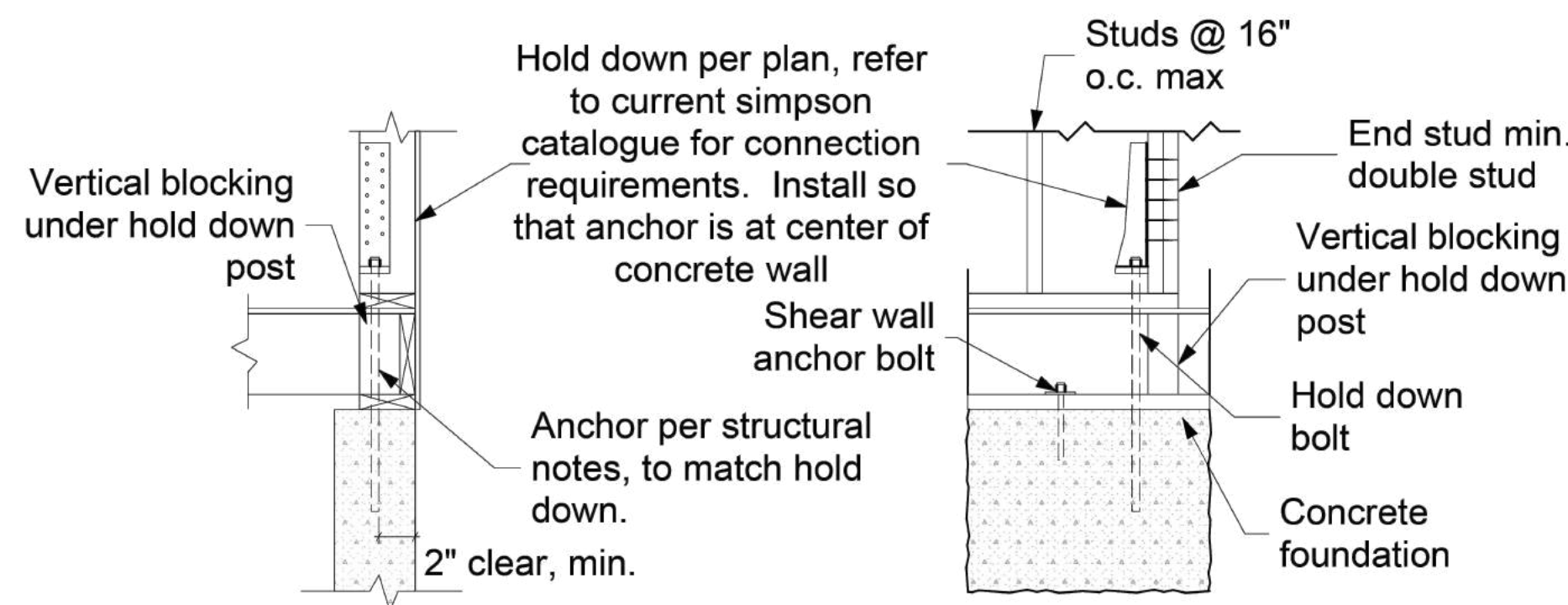
S-2



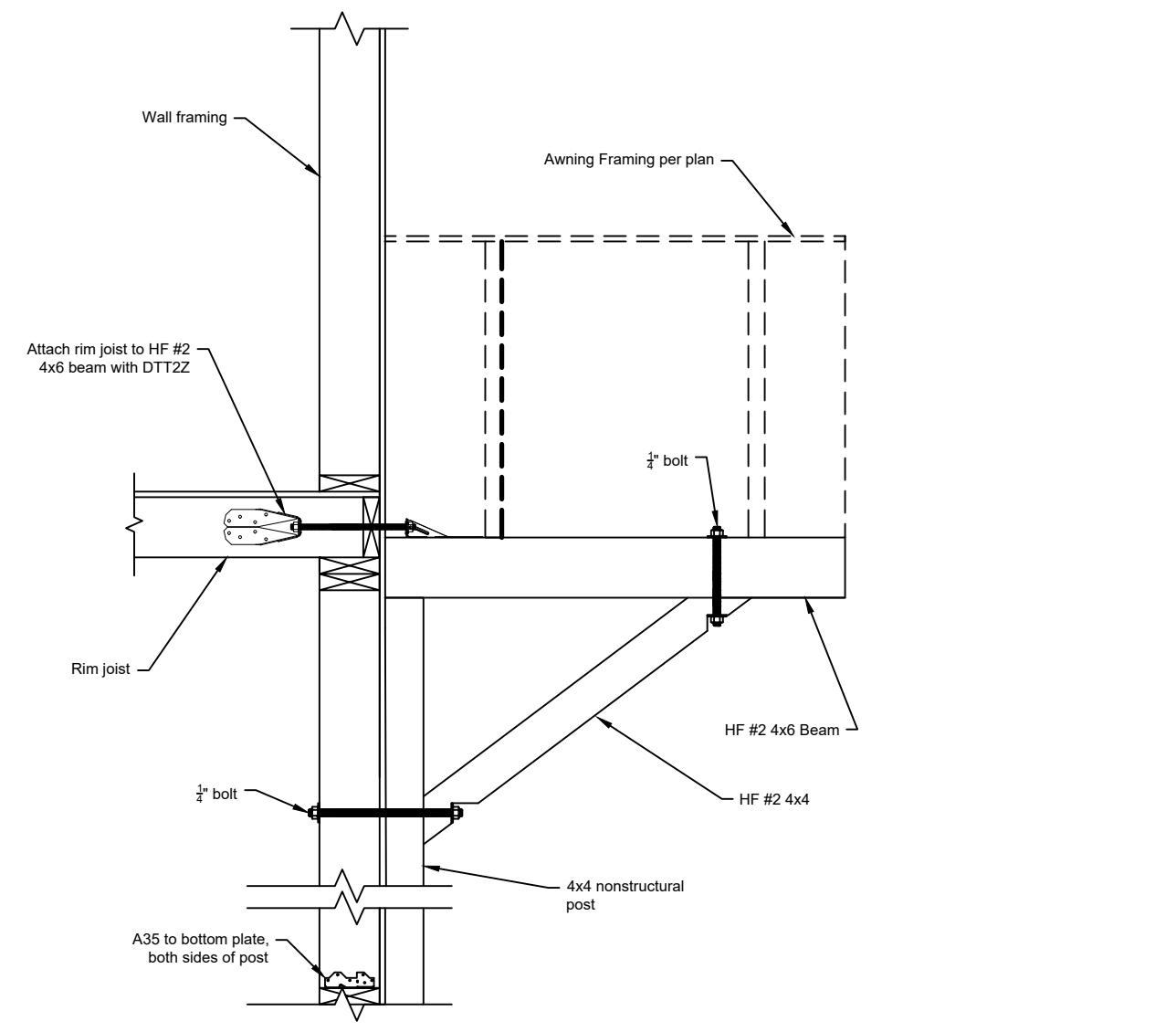
H1 Corner Hold Down Detail Scale: 1" = 1'-0"



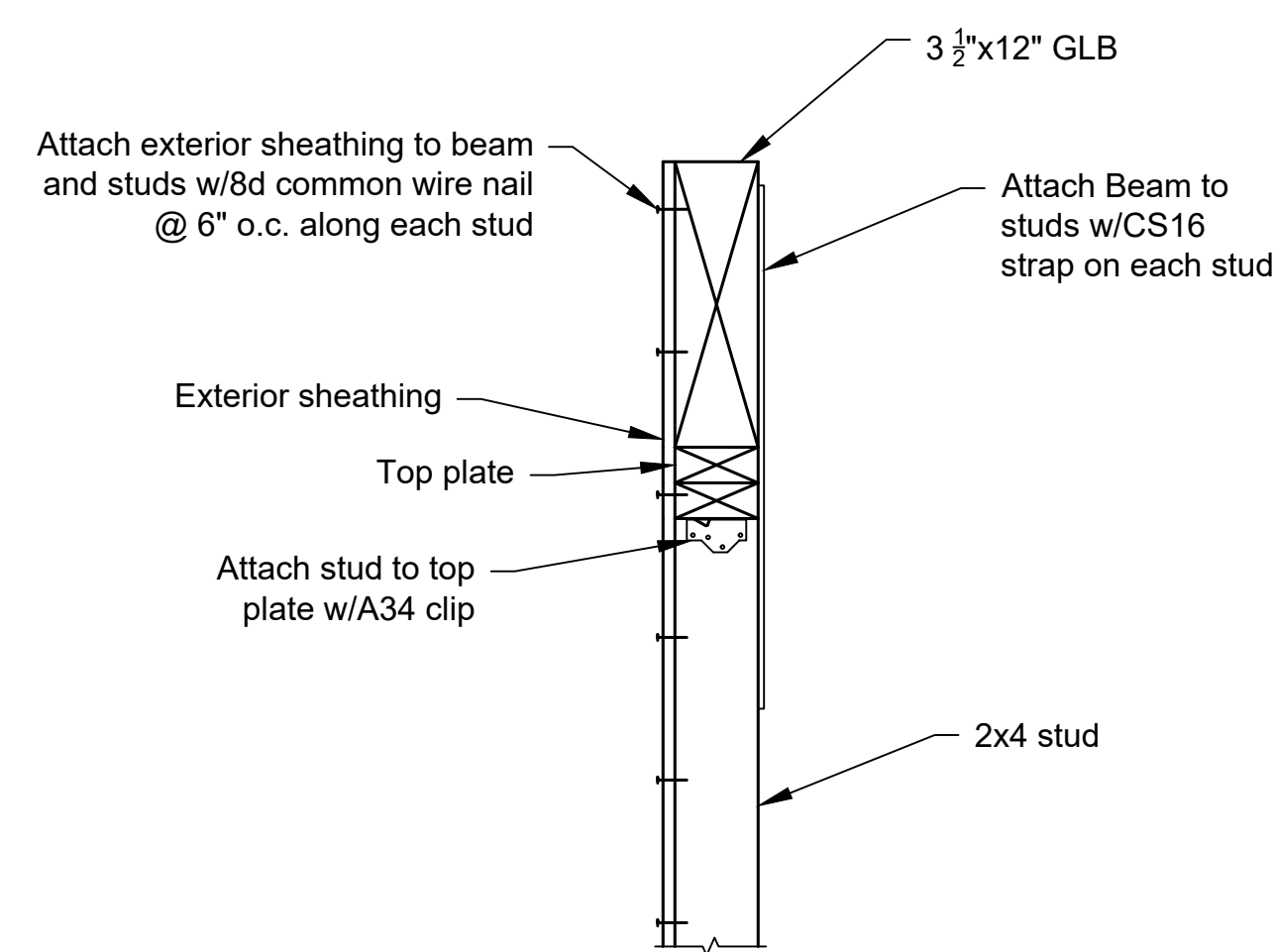
H2 Strap Hold Down Typical Detail Scale: 3/4" = 1'-0"



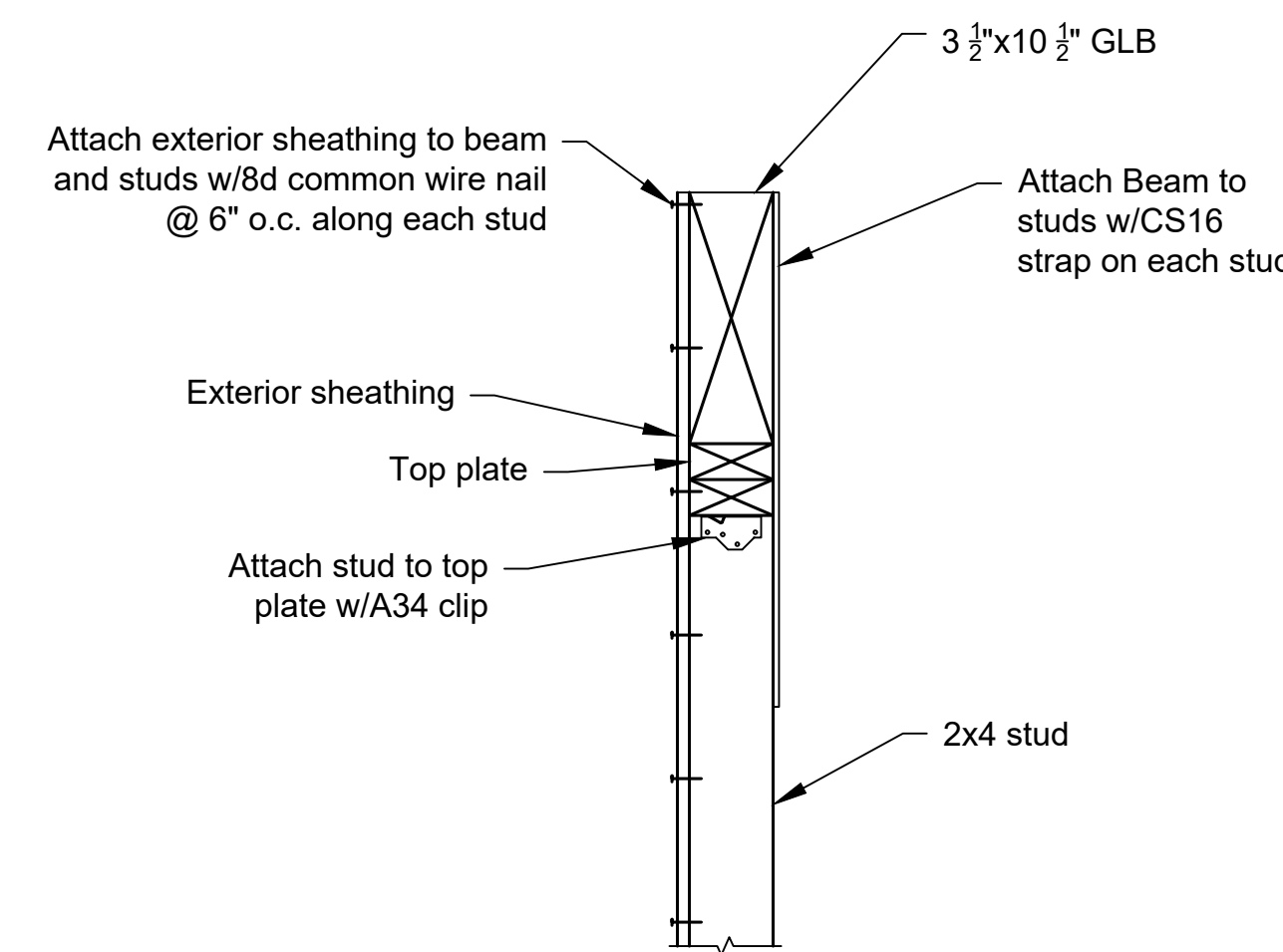
H3 Retrofit HDU Typical Detail Scale: 3/4" = 1'-0"



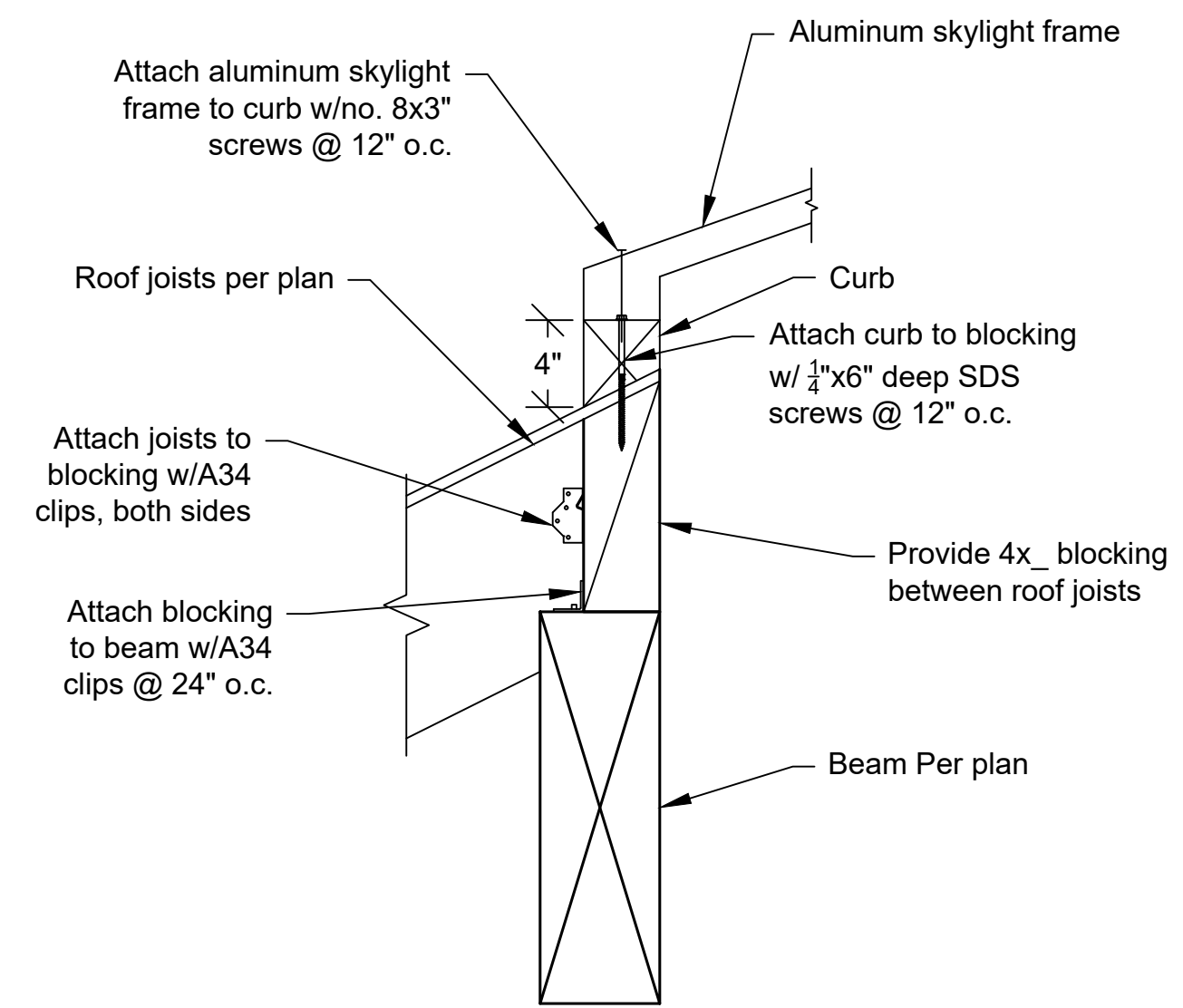
A1 Awning Connection Detail Scale: 3/4" = 1'-0"



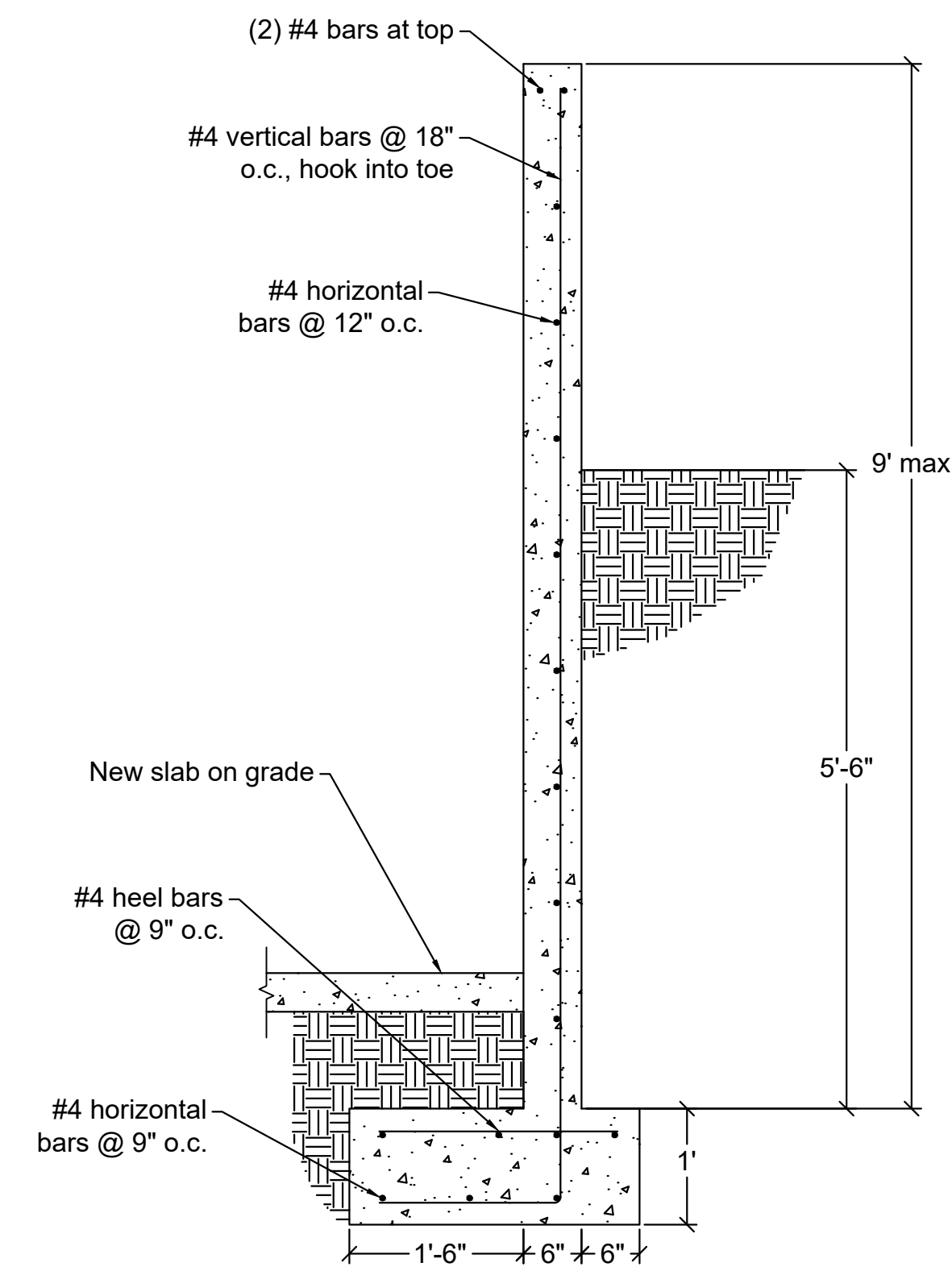
W1 East Wall Beam to Stud Connection Scale: 1-1/2" = 1'-0"



W2 West Wall Beam to Stud Connection Scale: 1-1/2" = 1'-0"



L1 Skylight Frame to Roof Framing Connection Detail Scale: 1-1/2" = 1'-0"



F4 East Retaining Wall Detail Scale: 3/4" = 1'-0"



Consulting Structural Engineering Services
6311 17th Ave NE, Seattle, WA 98115
Phone: 206-527-1288
Email: john@cse-engineering.com

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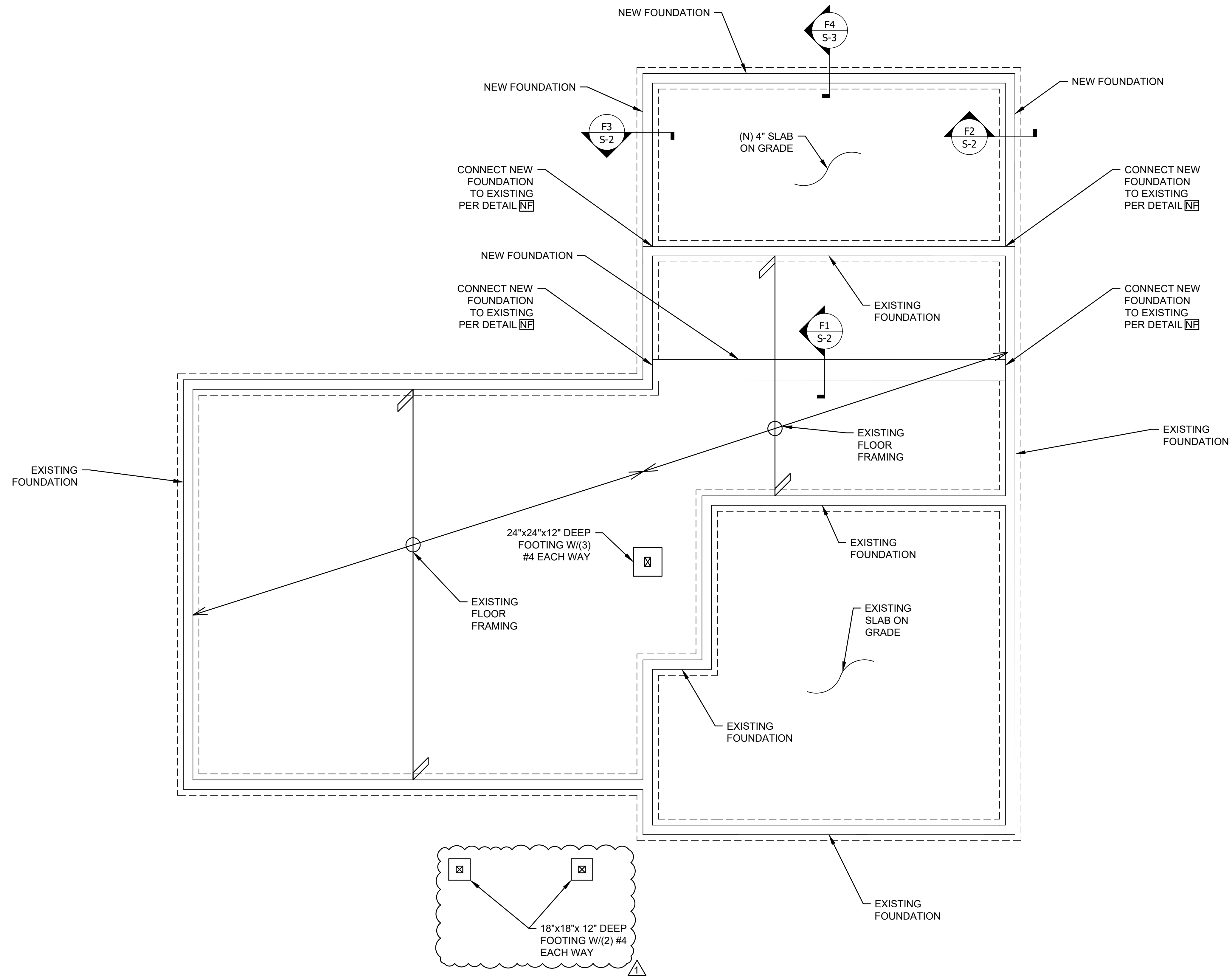
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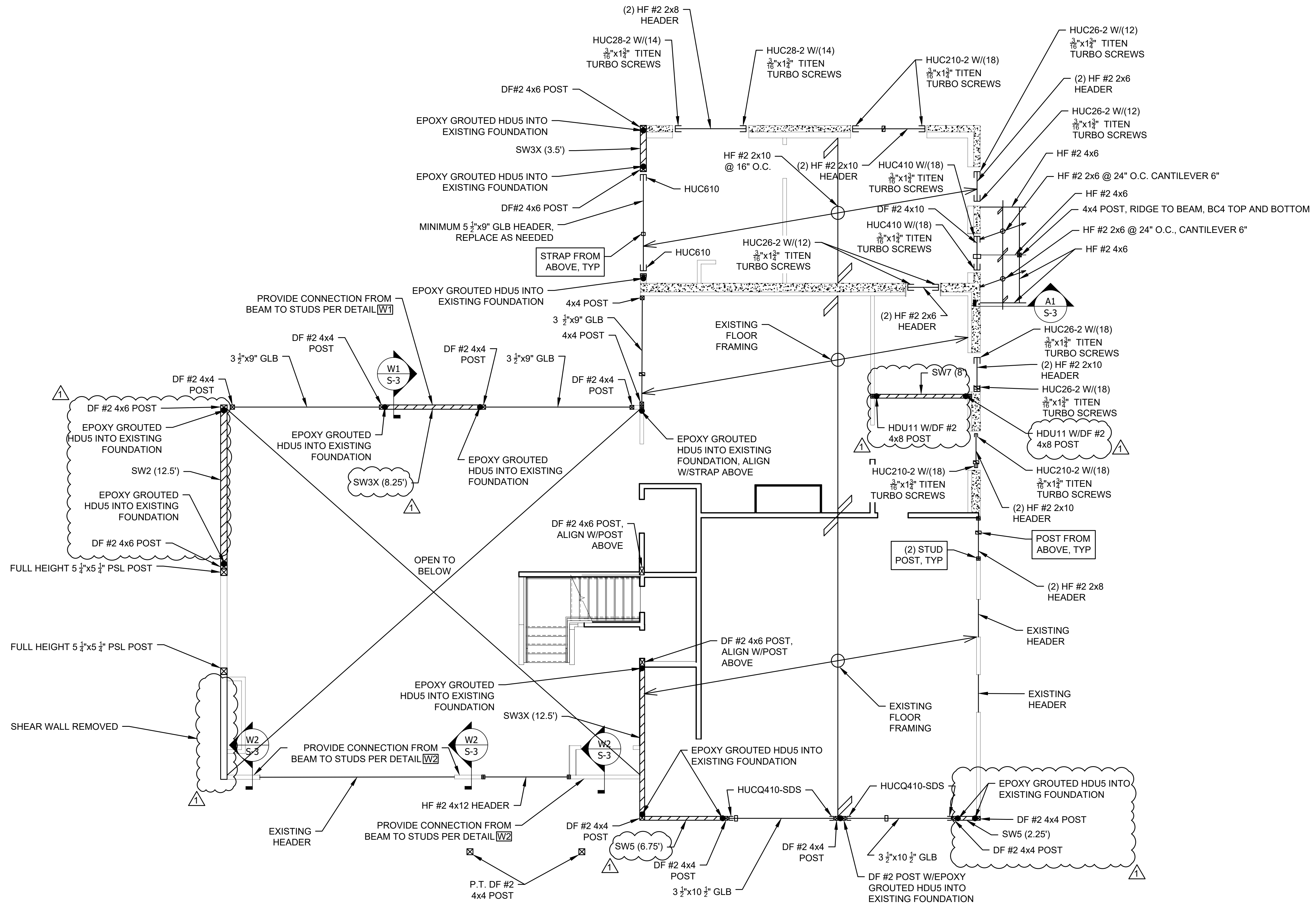
1 MAIN FLOOR FRAMING AND FOUNDATION PLAN

Scale: 1/4" = 1'-0"



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1 UPPER FLOOR FRAMING AND MAIN FLOOR WALL PLAN

Scale: 1/4" = 1'-0"

Revisions:
 A 04-19-24

Date:
 01-26-24

Sheet:

S-5



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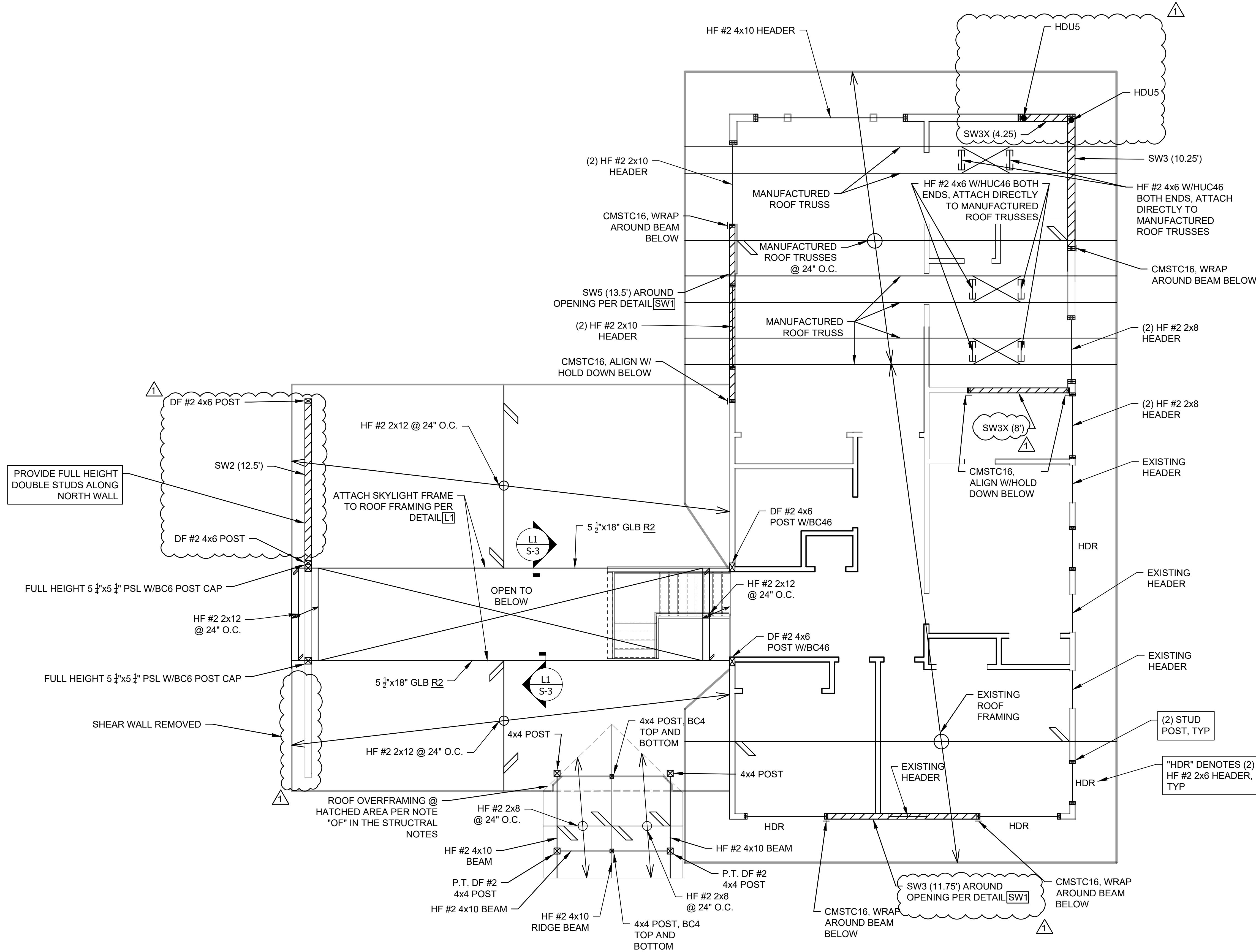
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 01-26-24

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1 ROOF FRAMING AND UPPER FLOOR WALL PLAN

Scale: 1/4" = 1'-0"